

350 W. MAIN STREET, SUITE 300  
KNOXVILLE, TENNESSEE 37902  
CONTACT: Margaret Butler  
EMAIL: mbutler@mmhinc.com  
TELEPHONE: (865) 544-2000  
FACSIMILE: (865) 544-0402  
INTERNET: mmhinc.com

PROJECT INFORMATION  
CONTRACT: SRC-00000000000000

OAKLAND COURT  
REDEVELOPMENT  
415 N. MAPLE ST.  
MURFREESBORO, TENNESSEE 37130

ACTIVE DESIGN PHASE  
SCHEMATIC DESIGN  
DESIGN DEVELOPMENT  
RED-CHECK  
CONSTRUCTION DOCUMENTS  
CONSTRUCTION BIDDING PHASE  
CONSTRUCTION ADMINISTRATION

NOTES  
1. In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.  
2. Underground utilities shown were located using available aboveground evidence, as well as from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.  
3. This property may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.  
4. Phase I is under construction.

CONSULTANT INFORMATION

CODES OFFICIAL REVIEW

KEY PLAN

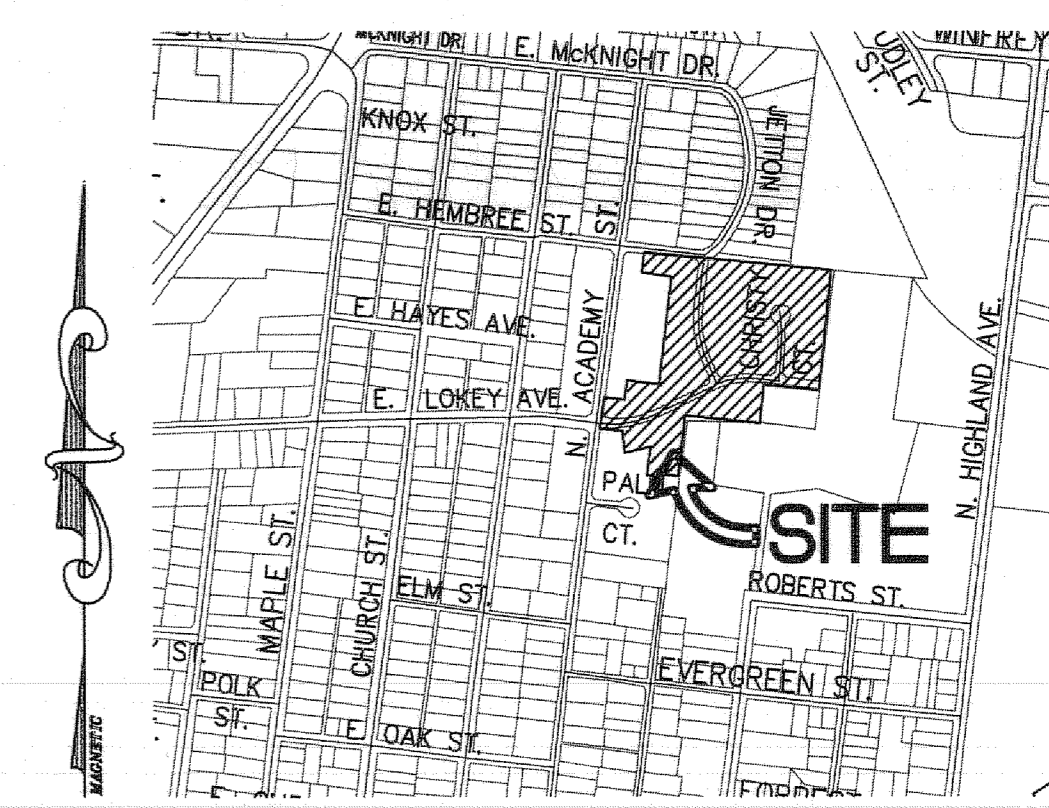
REVISION INFORMATION

No.	Date	Description
0	9-17-20	ORIGINAL ISSUE
1	10-7-20	ADDRESSED STAFF COMMENTS
2	11-13-20	SURVEYOR'S/ENGINEER'S REVISIONS
3		
4		
5		

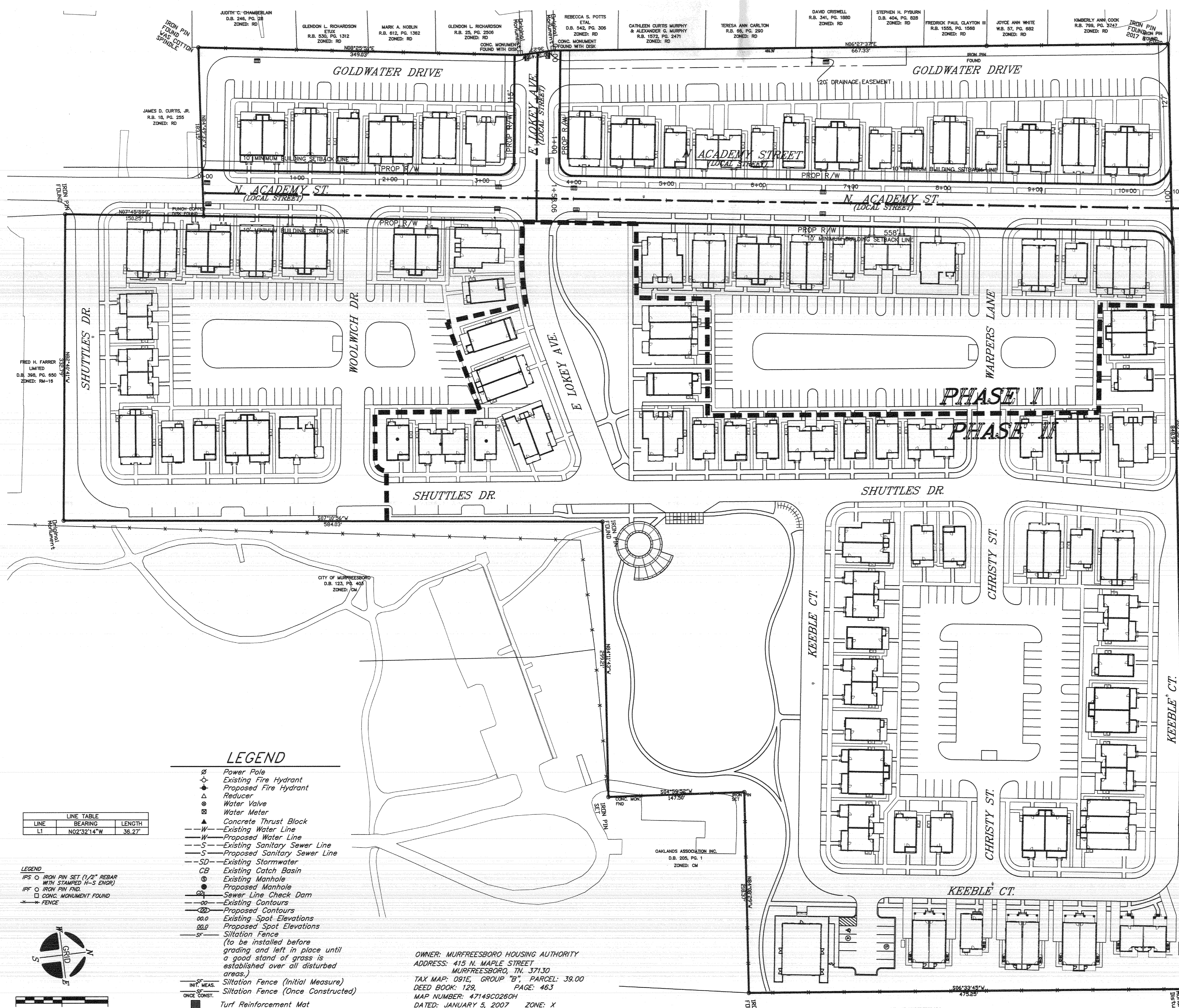
DRAWING INFORMATION

SCALE: 1"=50'  
SCALE GUIDE:  
DWG ISSUED: 13 NOV 2020  
PRJ MGR: Margaret Butler  
PA/PC: Jake Thomas  
DRAWN BY: Author  
CHECKED BY: Project Checked By  
DRAWING TITLE:

DRAWING NO.: SH\_S1 OF SP16



LOCATION MAP  
N.T.S.



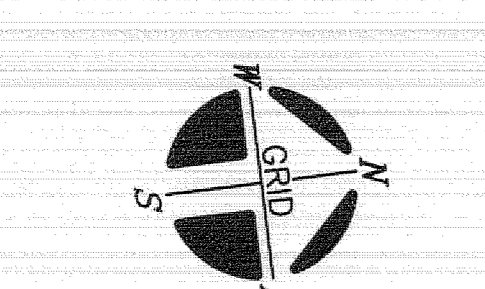
**LEGEND**

- ⊕ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Water Valve
- ⊕ Water Meter
- ▲ Concrete Thrust Block
- W— Existing Water Line
- W— Proposed Water Line
- S— Existing Sanitary Sewer Line
- S— Proposed Sanitary Sewer Line
- SD— Existing Stormwater
- ⊕ Existing Catch Basin
- ⊕ Existing Manhole
- ⊕ Proposed Manhole
- ⊕ Sewer Line Check Dam
- C— Existing Contours
- C— Proposed Contours
- 0.00 Existing Spot Elevations
- 0.00 Proposed Spot Elevations
- SF— Siltation Fence  
(to be installed before grading and left in place until a good stand of grass is established over all disturbed areas)
- SF— Siltation Fence (Initial Measure)
- SF— Siltation Fence (Once Constructed)
- T— Turf Reinforcement Mat
- SC— Stone Check Dam

**LINE TABLE**

LINE	BEARING	LENGTH
L1	N02°32'14"W	35.27'

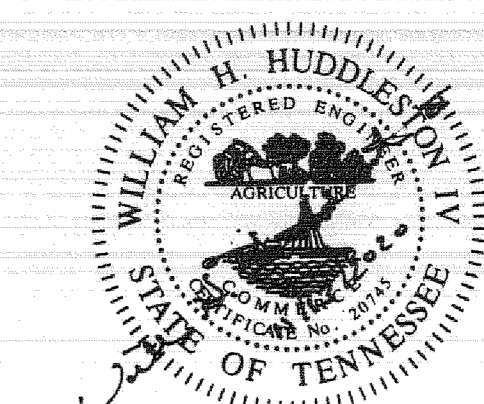
LEGEND  
IPS O IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)  
IP O IRON PIN (NO)  
□ CONC. MONUMENT FOUND  
— FENCE



PHASE I - 11.01 ACRES±  
PHASE II - 10.07 ACRES±

OWNER: MURFREESBORO HOUSING AUTHORITY  
ADDRESS: 415 N. MAPLE STREET  
MURFREESBORO, TN 37130  
TAX MAP: 091E, GROUP "B", PARCEL: 39.00  
DEED BOOK: 129, PAGE: 453  
MAP NUMBER: 4714902260H  
DATED: JANUARY 5, 2007 ZONE: X  
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

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3		
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**HS HUDDLESTON-STEEL ENGINEERING INC.**  
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
SURVEYING : 893 - 4084, FAX: 893 - 0080

**MASTER PLAN  
OAKLAND COURT  
PHASE II SITE PLAN**  
20th CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

BINDING EDGE

BINDING EDGE

BINDING EDGE

550 W. MAIN STREET, SUITE 302  
KNOXVILLE, TENNESSEE 37902  
CONTACT: Margaret Butler  
EMAIL: mbutler@mhmnc.com  
TELEPHONE: (865) 544-2000  
FACSIMILE: (865) 544-0402  
INTERNET: mhmnc.com

**OAKLAND COURT  
REDEVELOPMENT**

415 N. MAPLE ST.  
MURFREESBORO, TENNESSEE 37130

ACTIVE DESIGN PHASE  
SCHEMATIC DESIGN  
DESIGN DEVELOPMENT  
RED-CHECK  
CONSTRUCTION DOCUMENTS  
CONSTRUCTION BIDDING PHASE  
CONSTRUCTION ADMINISTRATION

SEAL:

**NOTES**  
1. In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.  
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3. This property may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.  
4. Phase I is under construction.

CONSULTANT INFORMATION

COES OFFICIAL REVIEW

KEY PLAN:

NO.	DATE	DESCRIPTION
0	9-17-20	ORIGINAL ISSUE
1	10-7-20	ADDRESSED STAFF COMMENTS
2	11-13-20	SURVEYOR'S/ENGINEER'S REVISIONS
3		
4		
5		

NO.	Date	Description

DRAWING INFORMATION  
SCALE: **SCALE: 1"=50'**  
SCALE GUIDE  
DWG ISSUED: 13 Nov 2020  
PRJ MGR: Margaret Butler  
PA / PC: Jake Thomas /  
DRAWN BY: Author  
CHECKED BY: Project Checked By  
DRAWING TITLE:

DRAWING NO:  
**SH SP2 OF SP16**



LOCATION MAP  
N.T.S.



**LEGEND**

- ⊕ Power Pole
- ⊙ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Water Valve
- ⊕ Water Meter
- ▲ Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- SD— Existing Stormwater
- CB Existing Catch Basin
- ⊕ Existing Manhole
- ⊕ Proposed Manhole
- SD— Sewer Line Check Dam
- Existing Contours
- ⊕ Existing Spot Elevations
- ⊕ Proposed Spot Elevations
- SF — Siltation Fence
- (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- Initial Measure Siltation Fence (Initial Measure)
- Once Constructed Siltation Fence (Once Constructed)
- Turf Reinforcement Mat
- Stone Check Dam

LINE	BEARING	LENGTH
L1	N023°21'14"W	35.27

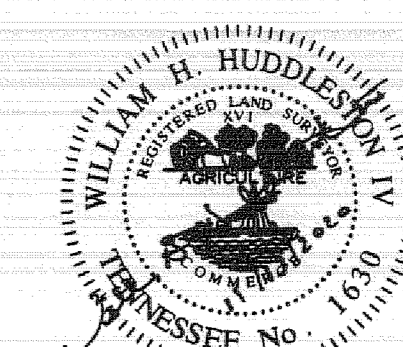
LEGEND:  
IPS O IRON PIN SET (1/2" REBAR WITH STAMPED "I-S ENGR)  
IPF O IRON PIN FIND  
□ CONC. MONUMENT FOUND  
— FENCE

PHASE II - 10.07 ACRES±

OWNER: MURFREESBORO HOUSING AUTHORITY  
ADDRESS: 415 N. MAPLE STREET  
MURFREESBORO, TN, 37130  
TAX MAP: 0915, GROUP "B", PARCEL: 39.00  
DEED BOOK: 129, PAGE: 463  
MAP NUMBER: 47149C02804  
DATED: JANUARY 3, 2007 ZONE: X  
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

NO.	DATE	DESCRIPTION
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4		
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THIS SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.



**HS HUDDLESTON-STEEL ENGINEERING, INC.**  
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
SURVEYING: 893 - 4084, FAX: 893 - 0080

**EXISTING CONDITIONS**  
**OAKLAND COURT**  
**PHASE II SITE PLAN**  
20th CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

BINDING EDGE

BINDING EDGE

BINDING EDGE

550 W. MAIN STREET, SUITE 303  
KNOXVILLE, TENNESSEE 37902

CONTACT: Margaret Butler  
mbutler@mhmnc.com  
TELEPHONE: (865) 544-2000  
FACSIMILE: (865) 544-0402  
INTERNET: mhmnc.com

PROJECT INFORMATION  
CONTRACT: 58C-0000000000000

**OAKLAND COURT REDEVELOPMENT**

MURFREESBORO, TENNESSEE 37130

ACTIVE DESIGN PHASE

SCHEMATIC DESIGN
DESIGN DEVELOPMENT
RED-CHECK
CONSTRUCTION DOCUMENTS
CONSTRUCTION BEGINNING PHASE
CONSTRUCTION ADMINISTRATION

SEAL:

© McCarty-Holsaple-McCarty, Inc.  
Do NOT scale drawings. Use given dimensions only.  
If not shown, verify correct dimension with ARCHITECT. Contractors check and verify all dimensions and conditions at site.

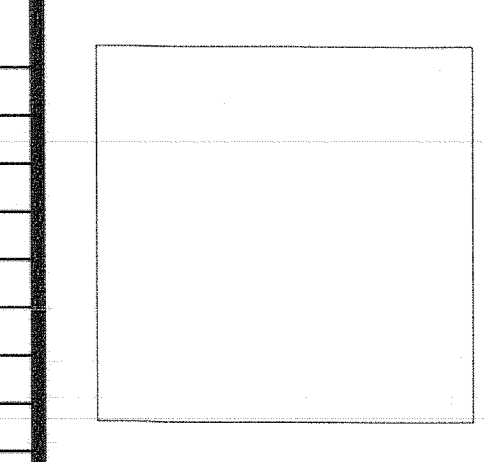
CONSULTANT INFORMATION

NO.	DATE	DESCRIPTION
0	10-17-19	ORIGINAL ISSUE
1	11-13-20	SURVEYOR'S/ENGINEER'S REVISIONS
2		
3		
4		
5		
6		

CODES OFFICIAL REVIEW

No.	Date	Description

KEY PLAN



REVISION INFORMATION

No.	Date	Description

DRAWING INFORMATION

SCALE: 1"=50'

SCALE GUIDE:

DWG. ISSUED: 13 NOV 2020

PRJ. MGR: Margaret Butler

PA. J. PC: Jake Thomas /

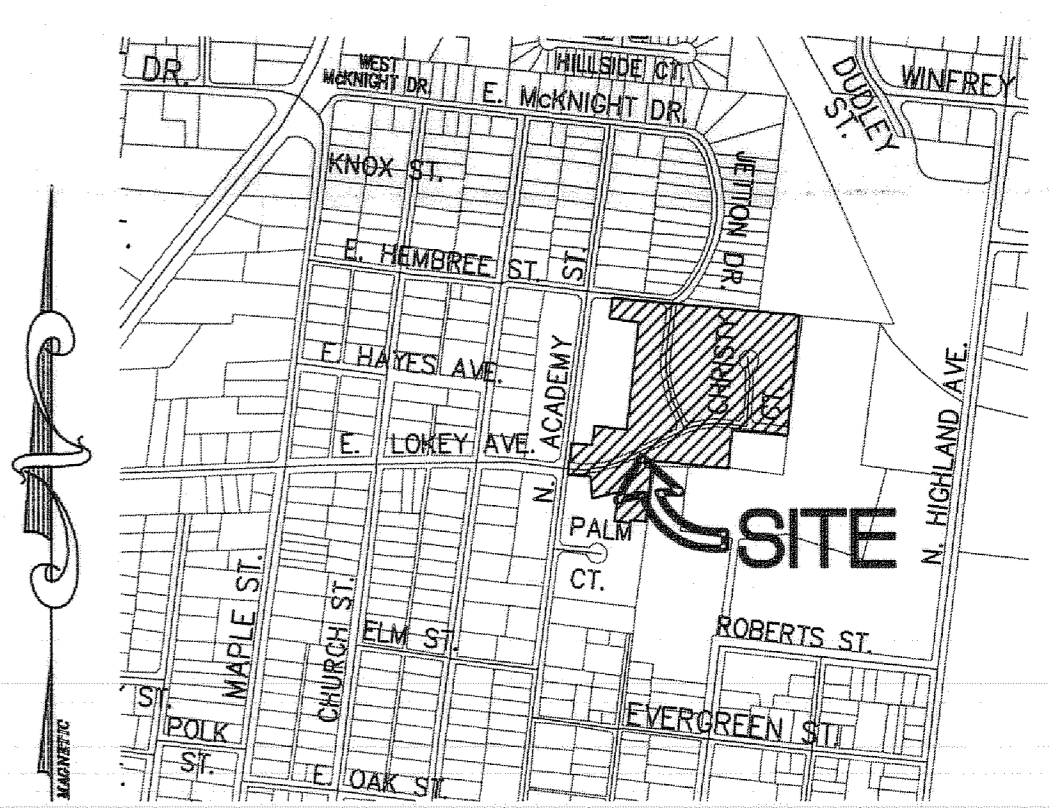
DRAWN BY: Author

CHECKED BY: Project Checked by

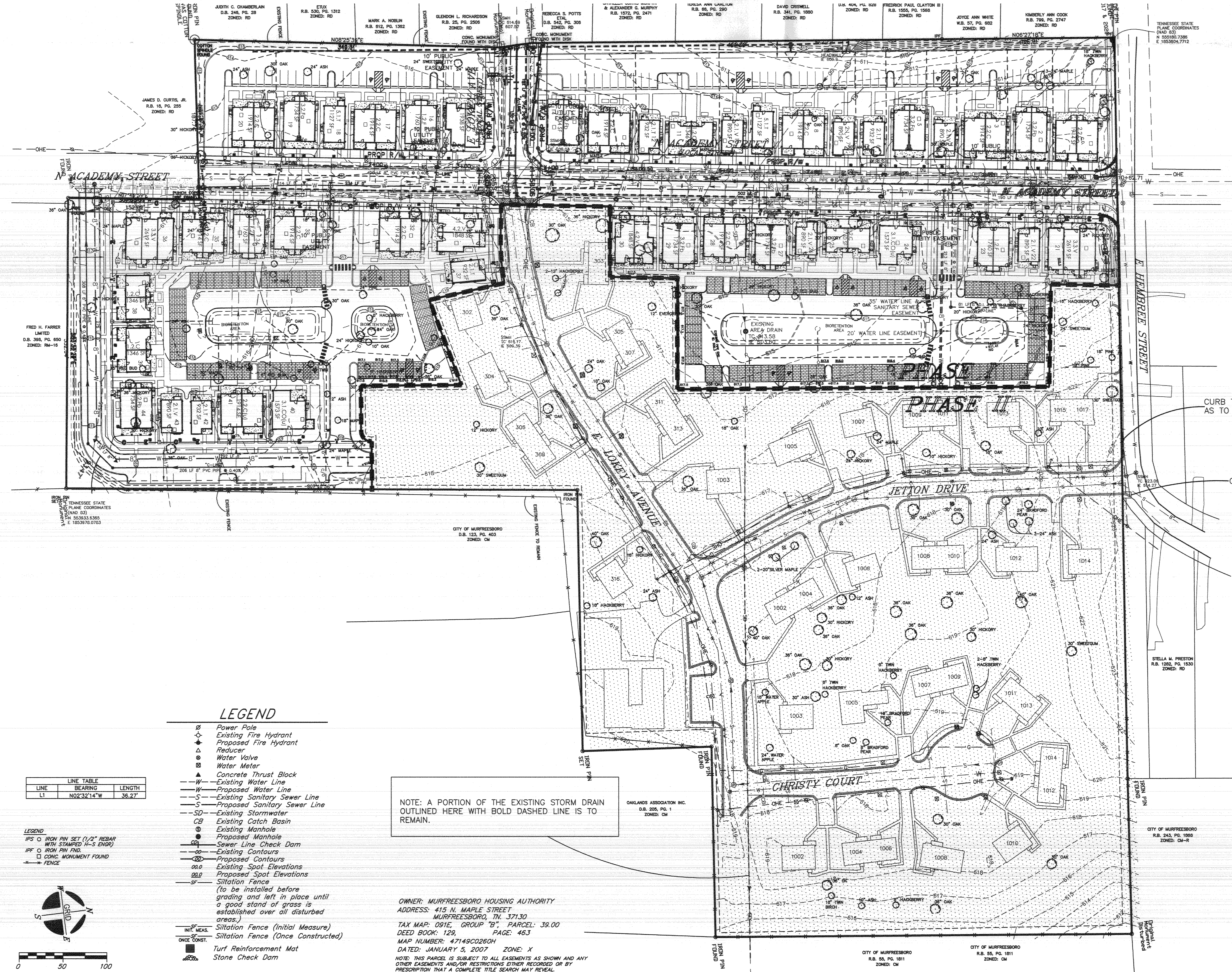
DRAWING TITLE:

DRAWING NO.

SH. SP3 OF SP15



LOCATION MAP  
N.T.S.



CURB TO BE REMOVED STARTING AT THIS POINT AS TO START TRANSITION TO PROPOSED CURB.

CURB TO BE REMOVED

NOTES

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- This property may be subject to additional easements, and/or restrictions, by record or prescription, but a complete title search may reveal.
- Phase I is under construction.
- Existing buildings, sidewalks, utility services, etc. not in E. Loken Avenue, Jetton Drive, and Christy Court to be removed by others. Site contractor to remove all conflicting trees, E. Loken Avenue, Jetton Drive, and Christy Court, including utilities within.
- All fencing that was installed during demolition in Phase I by others shall be maintained by the general contractor throughout construction of Phase II.

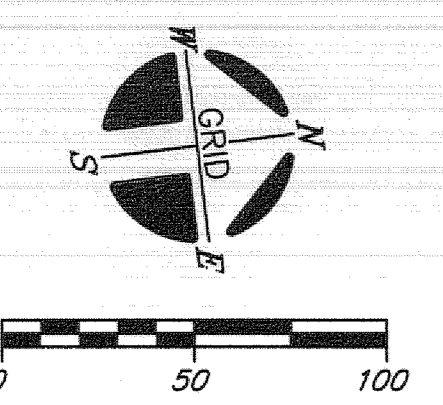
LEGEND

- ⊕ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
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- ⊕ Water Meter
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- SCD— Stone Check Dam

LINE TABLE

LINE	BEARING	LENGTH
LT	N02°32'14"W	36.27'

LEGEND  
 1/2" IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)  
 1/4" IRON PIN END  
 □ CONC. MONUMENT FOUND  
 — FENCE



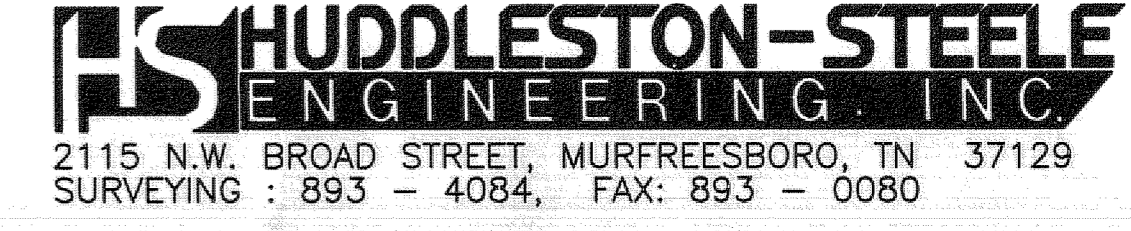
NOTE: A PORTION OF THE EXISTING STORM DRAIN OUTLINED HERE WITH BOLD DASHED LINE IS TO REMAIN.

OWNER: MURFREESBORO HOUSING AUTHORITY  
 ADDRESS: 415 N. MAPLE STREET  
 MURFREESBORO, TN 37130  
 TAX MAP: 091E, GROUP "B", PARCEL: 39.00  
 DEED BOOK: 129, PAGE: 463  
 MAP NUMBER: 471490280H  
 DATED: JANUARY 5, 2007 ZONE: X  
 NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

BINDING EDGE

BINDING EDGE

BINDING EDGE



Huddleston-Steele Engineering Inc.  
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
 SURVEYING : 893 - 4084, FAX: 893 - 0080

DEMOLITION PLAN  
**OAKLAND COURT**  
 PHASE II SITE PLAN  
 20th CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

550 W. MAIN STREET, SUITE 303  
KNOXVILLE, TENNESSEE 37902  
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**OAKLAND COURT  
REDEVELOPMENT**  
415 N. MAPLE ST.  
MURFREESBORO, TENNESSEE 37130

**ACTIVE DESIGN PHASE**  
SCHEMATIC DESIGN  
DESIGN DEVELOPMENT  
REDCHECK  
CONSTRUCTION DOCUMENTS  
CONSTRUCTION BIDDING PHASE  
CONSTRUCTION ADMINISTRATION

**CONSULTANT INFORMATION**  
MURFREESBORO HOUSING AUTHORITY  
D.B. 205, P.C. 1  
ZONED: CM

**NOTES**  
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3. This property may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.  
4. Prior to blasting, seismographic equipment shall be placed at the Ochsley Monument.  
5. Solid waste services will be provided by the City of Murfreesboro Solid Waste Department.  
6. Phase I is under construction.

**OWNER: MURFREESBORO HOUSING AUTHORITY**  
ADDRESS: 415 N. MAPLE STREET  
MURFREESBORO, TN 37130  
TAX MAP: 026 GROUP "B" PARCEL: 39.00  
DEED BOOK: 129 PAGE: 463  
MAP NUMBER: 47149C02604  
DATED: JANUARY 5, 2007 ZONE: X  
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

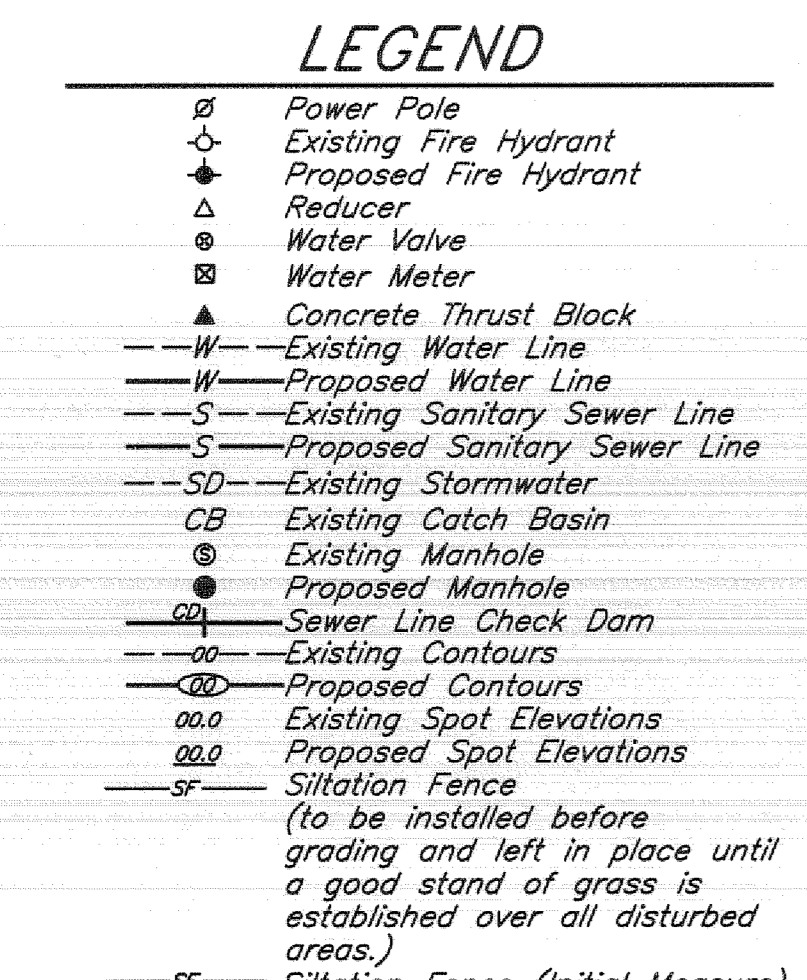
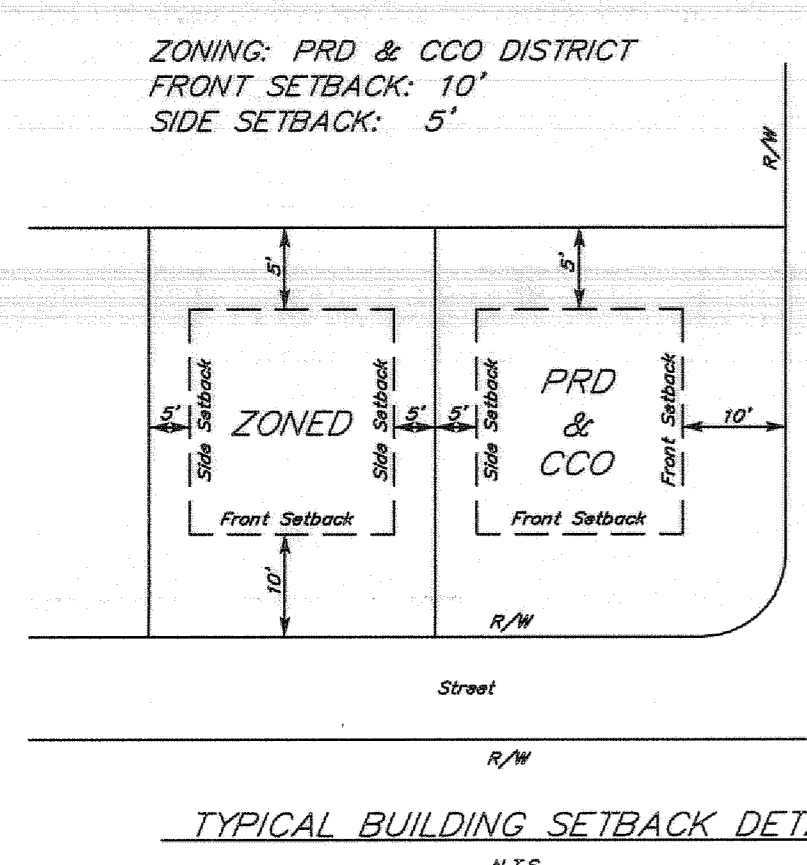
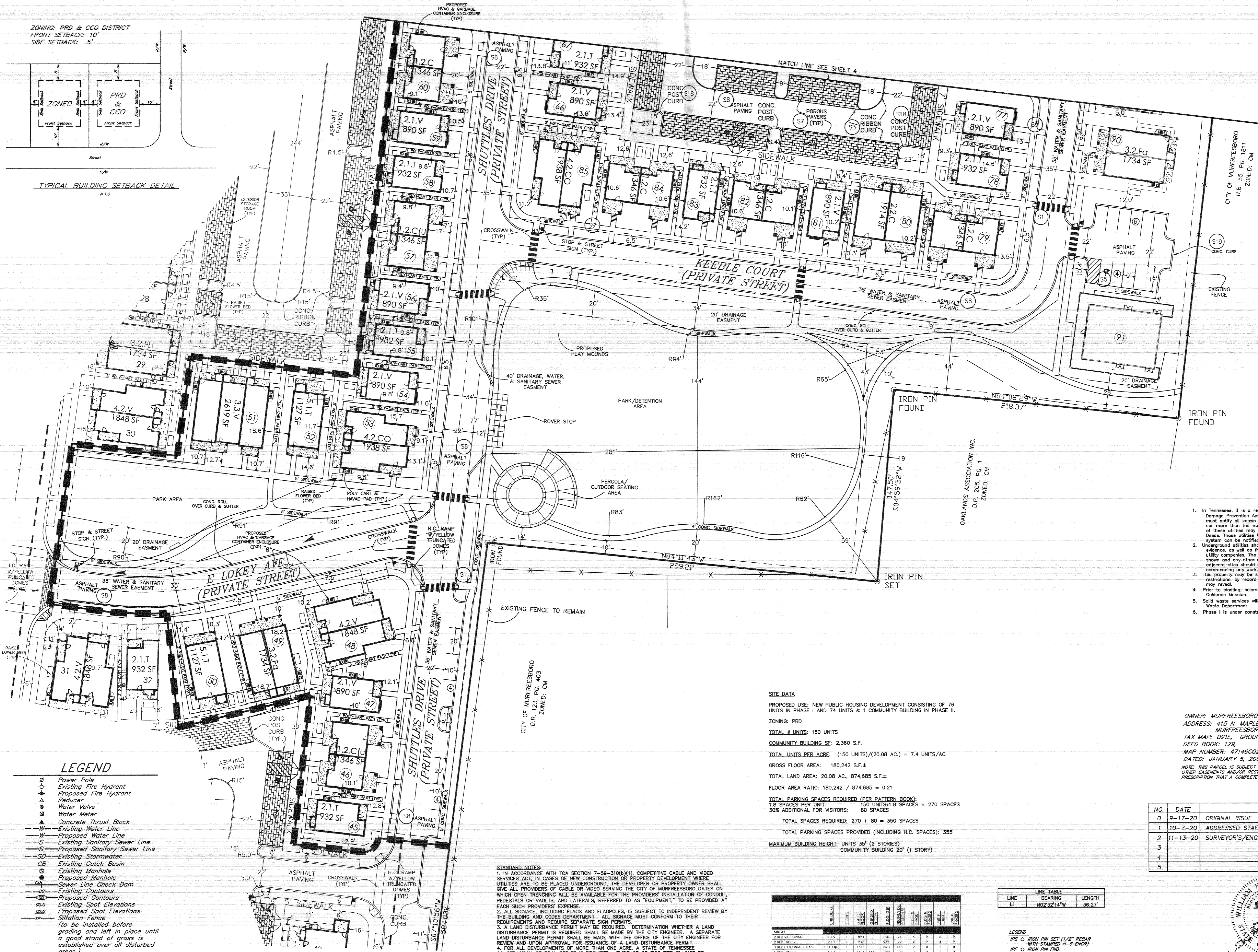
**KEY PLAN**

NO.	DATE	DESCRIPTION
0	9-17-20	ORIGINAL ISSUE
1	10-7-20	ADDRESSED STAFF COMMENTS
2	11-13-20	SURVEYOR'S/ENGINEER'S REVISIONS
3		
4		
5		

**REVISION INFORMATION**

No.	Date	Description

**DRAWING INFORMATION**  
SCALE: SCALE: 1"=30'  
SCALE GUIDE:  
DWG ISSUED: 13 NOV 2020  
PRJ MGR: Margaret Butler  
PA / P.C.: Jake Thomas  
DRAWN BY: Austin  
CHECKED BY: Project Checked By  
DRAWING TITLE:



UNIT	TOTAL WALL SF	MASONRY SF	MASONRY %	# UNITS	TOTAL SF	MASONRY %	MASONRY %
1.2.C + U	1992.9	200.5	10%	13	2606.5	2590.7	
2.1.V	1405.9	1424.6	89%	3	4273.8	4817.7	
2.1.T	1623.7	141.1	11%	15	2116.5	2038.5	
2.1.C	1508.6	158.1	10%	0	0	0	
2.2.C + U	2078.6	309.5	15%	16	4952	3325.7	
3.1.CC	1450.2	1526.1	99%	2	3052.2	3300.4	
3.2.Fa	2347.7	225	9%	7	1554	1736.2	
3.2.Fb	2484.4	2644.4	99%	7	18510.8	18790.8	
4.2.V	4927.8	614.6	13%	4	2458.4	18391.2	
4.2.V	4927.8	427.5	9%	4	1710	18304.8	
4.2.CC	4626.6	4626.2	100%	3	13878.6	13878.6	
5.1.T	3192.6	3192.6	100%	4	12769	12769	
CB	3052.4	3052.4	100%	1	3052.4	3052.4	
	37433.4	20174.2	54%	91	91873.3	210978.2	0.43546

**STANDARD NOTES:**  
1. IN ACCORDANCE WITH TCA SECTION 7-59-310(b)(1), COMPETITIVE CABLE AND VIDEO SERVICES ACT IN CASES OF NEW CONSTRUCTION OR PROPERTY DEVELOPMENT WHERE UTILITIES ARE TO BE PLACED UNDERGROUND, THE DEVELOPER OR PROPERTY OWNER SHALL GIVE ALL PROVIDERS OF CABLE OR VIDEO SERVING THE CITY OF MURFREESBORO DATES ON WHICH OPEN TRENCHING WILL BE AVAILABLE FOR THE PROVIDER'S INSTALLATION OF CONDUIT, PEDESTALS OR VAULTS, AND LATERALS, REFERRED TO AS "EQUIPMENT", TO BE PROVIDED AT EACH SUCH PROVIDER'S EXPENSE.  
2. ALL SIGNAGE, INCLUDING FLAGS AND FLAGPOLES, IS SUBJECT TO INDEPENDENT REVIEW BY THE BUILDING AND CODES DEPARTMENT. ALL SIGNAGE MUST CONFORM TO THEIR REQUIREMENTS AND REQUIRE SEPARATE SIGN PERMITS.  
3. A LAND DISTURBANCE PERMIT MAY BE REQUIRED. DETERMINATION WHETHER A LAND DISTURBANCE PERMIT IS REQUIRED SHALL BE MADE BY THE CITY ENGINEER. A SEPARATE LAND DISTURBANCE PERMIT SHALL BE MADE WITH THE OFFICE OF THE CITY ENGINEER FOR REVIEW AND UPON APPROVAL FOR ISSUANCE OF A LAND DISTURBANCE PERMIT.  
4. FOR ALL DEVELOPMENTS OF MORE THAN ONE ACRE, A STATE OF TENNESSEE CONSTRUCTION GENERAL PERMIT IS REQUIRED. EVIDENCE OF THIS PERMIT MUST BE PROVIDED TO THE OFFICE OF THE CITY ENGINEER PRIOR TO CONSTRUCTION COMMENCEMENT.  
5. A STORMWATER MANAGEMENT PLAN DEMONSTRATING THAT THE SITE PROVIDES FOR TREATMENT OF THE WATER QUALITY VOLUME AND PROVIDES FOR MANAGEMENT OF THE STREAMBANK PROTECTION VOLUME MUST BE PROVIDED.  
6. AN ENGINEER'S CERTIFICATION OF THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES MUST BE PROVIDED TO THE CITY ENGINEER PRIOR TO CERTIFICATE OF OCCUPANCY.  
7. A STORMWATER FACILITIES OPERATION AND MAINTENANCE PLAN AND A STORMWATER FACILITIES MAINTENANCE AGREEMENT MUST BE SUBMITTED PRIOR TO ISSUANCE OF A BUILDING PERMIT.  
8. A STORMWATER FACILITIES OPERATION AND MAINTENANCE PLAN AND A STORMWATER FACILITIES MAINTENANCE AGREEMENT MUST BE RECORDED PRIOR TO CERTIFICATE OF OCCUPANCY.  
9. UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE HOMEOWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE BUYER AND/OR HOMEOWNER SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THIS REQUIREMENT.

**SITE DATA**  
PROPOSED USE: NEW PUBLIC HOUSING DEVELOPMENT CONSISTING OF 76 UNITS IN PHASE I AND 74 UNITS & 1 COMMUNITY BUILDING IN PHASE II.  
ZONING: PRD  
TOTAL # UNITS: 150 UNITS  
COMMUNITY BUILDING SF: 2,360 S.F.  
TOTAL UNITS PER ACRE: (150 UNITS)/(20.08 AC.) = 7.4 UNITS/AC.  
GROSS FLOOR AREA: 180,242 S.F.±  
TOTAL LAND AREA: 20.08 AC., 874,685 S.F.±  
FLOOR AREA RATIO: 180,242 / 874,685 = 0.21  
TOTAL PARKING SPACES REQUIRED (PER PATTERN BOOK): 150 UNITS x 1.8 SPACES = 270 SPACES  
30% ADDITIONAL FOR VISITORS: 80 SPACES  
TOTAL SPACES REQUIRED: 270 + 80 = 350 SPACES  
TOTAL PARKING SPACES PROVIDED (INCLUDING H.C. SPACES): 355  
MAXIMUM BUILDING HEIGHT: UNITS 35' (2 STORIES)  
COMMUNITY BUILDING 20' (1 STORY)

**LINE TABLE**

LINE	BEARING	LENGTH
11	N02°32'14"W	36.27'

**LEGEND**  
IPS ○ IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)  
RPF ○ IRON PIN PAD  
□ CONC. MONUMENT FOUND  
--- FENCE

**GRID**

0 30 60  
PHASE II - 10.07 ACRES±

**H. HUDDLESTON-STEEL ENGINEERING INC.**  
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
SURVEYING: 893 - 4084, FAX: 893 - 0080

**SITE PLAN**  
**OAKLAND COURT**  
**PHASE II SITE PLAN**  
20th CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

BINDING EDGE

BINDING EDGE

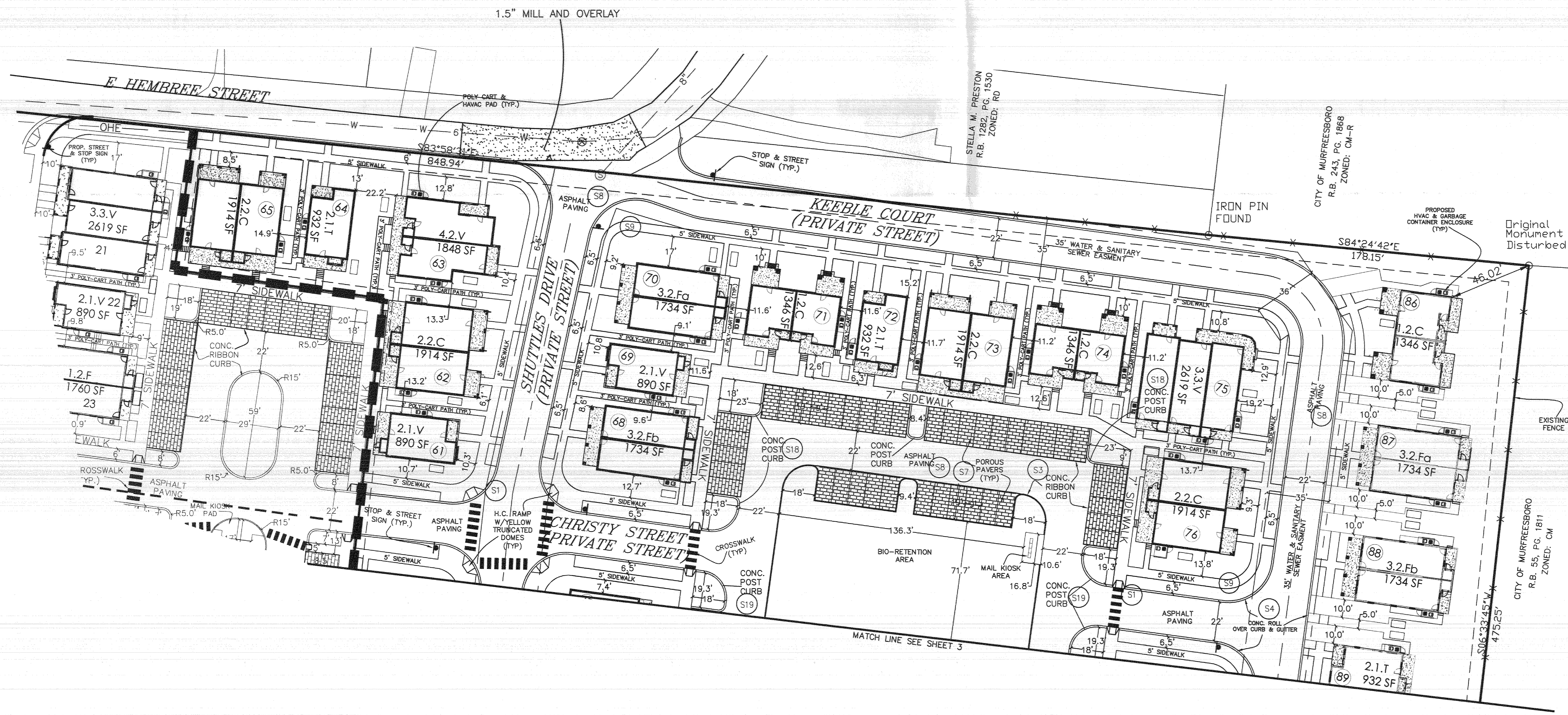
BINDING EDGE

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BINDING EDGE

BINDING EDGE

TIME / DATE: 1/28/2020 11:49:39 AM



### LEGEND

- ⊕ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Water Valve
- ⊕ Water Meter
- ⊕ Concrete Thrust Block
- ⊕ Existing Water Line
- ⊕ Proposed Water Line
- ⊕ Existing Sanitary Sewer Line
- ⊕ Proposed Sanitary Sewer Line
- ⊕ Existing Stormwater
- ⊕ Proposed Stormwater
- ⊕ Existing Catch Basin
- ⊕ Existing Manhole
- ⊕ Proposed Manhole
- ⊕ Sewer Line Check Dam
- ⊕ Existing Contours
- ⊕ Proposed Contours
- ⊕ Existing Spot Elevations
- ⊕ Proposed Spot Elevations
- ⊕ Situation Fence (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- ⊕ Situation Fence (Initial Measure)
- ⊕ Situation Fence (Once Constructed)
- ⊕ Turf Reinforcement Mat
- ⊕ Stone Check Dam

**STANDARD NOTES:**

- IN ACCORDANCE WITH TCA SECTION 7-59-310(b)(1), COMPETITIVE CABLE AND VIDEO SERVICES ACT, IN CASES OF NEW CONSTRUCTION OR PROPERTY DEVELOPMENT WHERE UTILITIES ARE TO BE OPENED UNDERGROUND, THE DEVELOPER OR PROPERTY OWNER SHALL GIVE ALL PROVIDERS OF CABLE OR VIDEO SERVING THE CITY OF MURFREESBORO DATES ON WHICH OPEN TRENCHING WILL BE AVAILABLE FOR THE PROVIDERS' INSTALLATION OF CONDUIT, PEDESTALS OR VALVES, AND DETAILS, REFERRED TO AS "EQUIPMENT", TO BE PROVIDED AT EACH SUCH PROVIDER'S EXPENSE.
- ALL SIGNAGE, INCLUDING FLAGS AND FLAGPOLES, IS SUBJECT TO INDEPENDENT REVIEW BY THE BUILDING AND CODES DEPARTMENT. ALL SIGNAGE MUST CONFORM TO THEIR REQUIREMENTS AND REQUIRE SEPARATE SIGN PERMITS.
- A LAND DISTURBANCE PERMIT MAY BE REQUIRED. DETERMINATION WHETHER A LAND DISTURBANCE PERMIT IS REQUIRED SHALL BE MADE BY THE CITY ENGINEER. A SEPARATE LAND DISTURBANCE PERMIT SHALL BE MADE WITH THE OFFICE OF THE CITY ENGINEER FOR REVIEW AND UPON APPROVAL FOR ISSUANCE OF A LAND DISTURBANCE PERMIT.
- FOR ALL DEVELOPMENTS OF MORE THAN ONE ACRE, A STATE OF TENNESSEE CONSTRUCTION GENERAL PERMIT IS REQUIRED. EVIDENCE OF THIS PERMIT MUST BE PROVIDED TO THE OFFICE OF THE CITY ENGINEER PRIOR TO CONSTRUCTION COMMENCEMENT.
- A STORMWATER MANAGEMENT PLAN DEMONSTRATING THAT THE SITE PROVIDES FOR TREATMENT OF THE WATER QUALITY VOLUME AND PROVIDES FOR MANAGEMENT OF THE STREAMBANK PROTECTION VOLUME MUST BE PROVIDED.
- AN ENGINEER'S CERTIFICATION OF THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES MUST BE PROVIDED TO THE CITY ENGINEER PRIOR TO CERTIFICATE OF OCCUPANCY.
- A STORMWATER FEE CREDIT APPLICATION MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- A STORMWATER FACILITIES OPERATION AND MAINTENANCE PLAN AND A STORMWATER FACILITIES MAINTENANCE AGREEMENT MUST BE SUBMITTED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- THE STORMWATER FACILITIES MAINTENANCE AGREEMENT MUST BE RECORDED PRIOR TO CERTIFICATE OF OCCUPANCY.
- UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE HOMEOWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXCLUDE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE BUILDER AND/OR HOMEOWNER SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THIS REQUIREMENT.

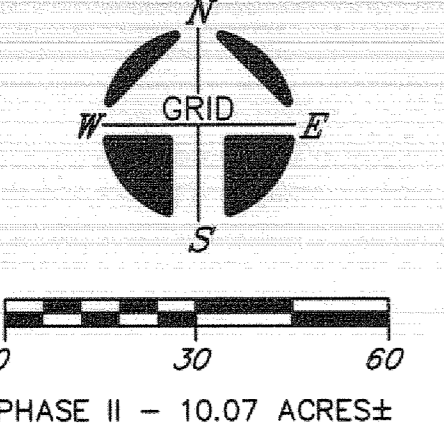
### NOTES

- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available aboveground evidence, as well as from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- This project shall be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Prior to blasting, seismographic equipment shall be placed at the Oakland Mansion.
- Solid waste services will be provided by the City of Murfreesboro Solid Waste Department.
- Phase I is under construction.

UNITS	TOTAL WALL SF	MASONRY SF PER 1 UNIT	MASONRY SF PER 1 UNIT IN PROJECT	# UNITS IN PROJECT	TOTAL SF MASONRY	MASONRY SF TOTAL ALL UNITS	MASONRY SF TOTAL IN PROJECT
1.2.C + (U)	1992.9	200.5	10%	13	2606.5	2597.7	
1.2.F	1605.9	1424.6	89%	3	4273.8	4817.7	
2.1.V	1338.9	1411	11%	15	2116.5	20353.5	
2.1.T	1623.7	1423.7	100%	13	21108.1	21108.1	
2.1.C	1506.6	158.1	10%	0	0	0	
2.2.C + (U)	2078.6	309.5	15%	16	4952	33257.6	
3.1.CO	1630.2	1526.1	92%	2	3052.2	3300.4	
3.2.Fg	2847.7	225	8%	6	1354	17326.2	
3.2.Fb	2684.4	2444.4	92%	7	18510.8	18790.8	
3.3.V	4597.8	614.6	13%	4	2458.4	18391.2	
4.2.V	4626.2	427.5	9%	4	1710	18304.8	
4.2.CO	4626.6	4626.2	100%	3	13878.6	13879.8	
S.1.T	3199.5	3199.5	100%	4	12798	12798	
CB	3052.4	3052.4	100%	1	3052.4	3052.4	
	37433.4	20174.2	54%	91	91873.3	210978.2	+/- 43%

LINE	BEARING	LENGTH
L1	N02°32'14"W	36.27'

LEGEND  
 IPS O IRON PIN SET (1/2" REBAR WITH STAMPED H-S ORS)  
 IPF O IRON PIN FND.  
 □ CONC. MONUMENT FOUND  
 --- FENCE



OWNER: MURFREESBORO HOUSING AUTHORITY  
 ADDRESS: 415 N. MAPLE STREET  
 MURFREESBORO, TN, 37130  
 TAX MAP: 091E, GROUP "B", PARCEL: 39.00  
 DEED BOOK: 129, PAGE: 463  
 MAP NUMBER: 4719C0280M  
 DATED: JANUARY 5, 2007 ZONE: X  
 NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

**SITE DATA**

PROPOSED USE: NEW PUBLIC HOUSING DEVELOPMENT CONSISTING OF 78 UNITS IN PHASE I AND 74 UNITS & 1 COMMUNITY BUILDING IN PHASE II.

ZONING: PRO

TOTAL # UNITS: 150 UNITS

COMMUNITY BUILDING SF: 2,360 S.F.

TOTAL UNITS PER ACRE: (150 UNITS)/(20.08 AC.) = 7.4 UNITS/AC.

GROSS FLOOR AREA: 180,242 S.F.±

TOTAL LAND AREA: 20.08 AC., 874,685 S.F.±

FLOOR AREA RATIO: 180,242 / 874,685 = 0.21

TOTAL PARKING SPACES REQUIRED (PER PATTERN BOOK): 1.8 SPACES PER UNIT: 150 UNITS x 1.8 SPACES = 270 SPACES  
 30% ADDITIONAL FOR VISITORS: 80 SPACES

TOTAL SPACES REQUIRED: 270 + 80 = 350 SPACES

TOTAL PARKING SPACES PROVIDED (INCLUDING H.C. SPACES): 355

MAXIMUM BUILDING HEIGHT: UNITS 35' (2 STORIES)  
 COMMUNITY BUILDING 20' (1 STORY)

UNIT	TOTAL WALL SF	MASONRY SF PER 1 UNIT	MASONRY SF PER 1 UNIT IN PROJECT	# UNITS IN PROJECT	TOTAL SF MASONRY	MASONRY SF TOTAL ALL UNITS	MASONRY SF TOTAL IN PROJECT
1.2.C + (U)	1992.9	200.5	10%	13	2606.5	2597.7	
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CB	3052.4	3052.4	100%	1	3052.4	3052.4	
	37433.4	20174.2	54%	91	91873.3	210978.2	+/- 43%

NO.	DATE	DESCRIPTION
0	9-17-20	ORIGINAL ISSUE
1	10-7-20	ADDRESSED STAFF COMMENTS
2	11-13-20	SURVEYOR'S/ENGINEER'S REVISIONS
3		
4		
5		

MCCARTY  
HOLSAPLE  
MCCARTY

**MHM**  
ARCHITECTS & INTERIOR DESIGNERS

19035

550 W. MAIN STREET, SUITE 300  
KNOXVILLE, TENNESSEE 37902

CONTACT: Margaret Butler  
 EMAIL: mbutler@mhmnc.com  
 TELEPHONE: (865) 544-2000  
 FACSIMILE: (865) 544-0472  
 INTERNET: mhmnc.com

PROJECT INFORMATION  
 CONTRACT: SSC-00000000000000

**OAKLAND COURT REDEVELOPMENT**  
 415 N. MAPLE ST.  
 MURFREESBORO, TENNESSEE 37130

ACTIVE DESIGN PHASE

- SCHEMATIC DESIGN
- DESIGN DEVELOPMENT
- RED-CHECK
- CONSTRUCTION DOCUMENTS
- CONSTRUCTION BEGINS PHASE
- CONSTRUCTION ADMINISTRATION

SEAL:

© McCarty Holsapple McCarty, Inc.  
 Do NOT scale drawings, use given dimensions only.  
 If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions on site.

CONSULTANT INFORMATION

KEY PLAN:

CODES OFFICIAL REVIEW

REVISION INFORMATION

No.	Date	Description

DRAWING INFORMATION

SCALE: 1" = 30'

SCALE GUIDE:

DWG ISSUED: 13 NOV 2020

PRJ MGR: Margaret Butler

PA / PC: Jake Thomas /

DRAWN BY: Author

CHECKED BY: Project Checked By

DRAWING TITLE:

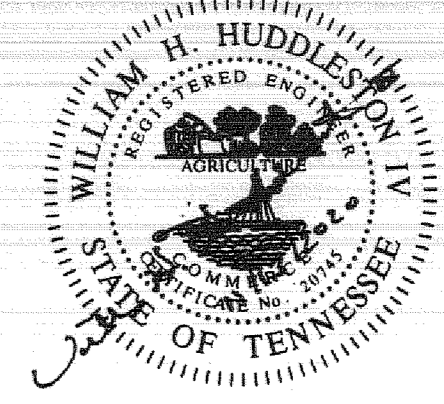
**HS HUDDLESTON-STEELE ENGINEERING, INC.**  
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
 SURVEYING: 893 - 4084, FAX: 893 - 0080

**SITE PLAN**

**OAKLAND COURT**  
**PHASE II SITE PLAN**

20th CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

DRAWING NO.: SH SP5 OF SP16



**OAKLAND COURT  
REDEVELOPMENT**

415 N. MAPLE ST.  
MURFREESBORO, TENNESSEE 37130

ACTIVE DESIGN PHASE  
SCHEMATIC DESIGN  
DESIGN DEVELOPMENT  
RED-CHECK  
CONSTRUCTION DOCUMENTS  
CONSTRUCTION ADMINISTRATION  
CONSTRUCTION ADMINISTRATION

CONSULTANT INFORMATION  
MURFREESBORO HOUSING AUTHORITY  
D.B. 205, P.C. 1  
ZONED: CM

NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS OTHER THAN RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

OWNER: MURFREESBORO HOUSING AUTHORITY  
ADDRESS: 415 N. MAPLE STREET  
MURFREESBORO, TN 37130  
TAX MAP: 091E, GROUP 12, PARCEL: 39.00  
DEED BOOK: 129, PAGE: 463  
MAP NUMBER: 4714SC260H  
DATED: JANUARY 5, 2007 ZONE: X

NOTE: INSURE STORMWATER FLOWS AWAY FROM ALL BUILDINGS.

KEY PLAN:

NO.	DATE	DESCRIPTION
0	9-17-20	ORIGINAL ISSUE
1	10-7-20	ADDRESSED STAFF COMMENTS
2	11-13-20	SURVEYOR'S/ENGINEER'S REVISIONS
3	01-21-21	REVISED GRADING TO ENSURE A FLUSH ENTRY
4		
5		

NO.	DATE	DESCRIPTION
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5		

THIS SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-.07.

NO.	DATE	DESCRIPTION
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3	01-21-21	REVISED GRADING TO ENSURE A FLUSH ENTRY
4		
5		

REVISION INFORMATION  
No. Date Description

DRAWING INFORMATION  
SCALE: 1"=30'  
SCALE GUIDE  
DWG ISSUED: 13 NOV 2020  
PRJ MGR: Margaret Butler  
PA / PC: Jake Thomas /  
DRAWN BY: Author  
CHECKED BY: Project Checked By  
DRAWING TITLE: SH SP6 OF SP16

BINDING EDGE

BINDING EDGE

BINDING EDGE



- NOTES**
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
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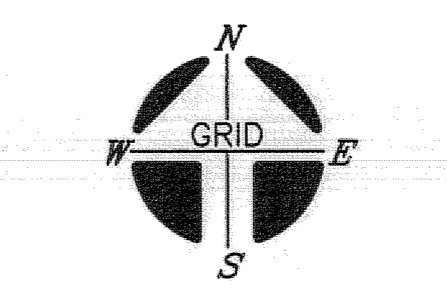
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- LEGEND**
- Power Pole
  - Existing Fire Hydrant
  - Proposed Fire Hydrant
  - Reducer
  - Water Valve
  - Water Meter
  - Concrete Thrust Block
  - Existing Water Line
  - Proposed Water Line
  - Existing Sanitary Sewer Line
  - Proposed Sanitary Sewer Line
  - Existing Stormwater
  - Existing Catch Basin
  - Existing Manhole
  - Proposed Manhole
  - Sewer Line Check Dam
  - Existing Contours
  - Proposed Contours
  - Existing Spot Elevations
  - Proposed Spot Elevations
  - Siltation Fence
  - (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
  - Siltation Fence (Initial Measure)
  - Siltation Fence (Once Constructed)
  - Turf Reinforcement Mat
  - Stone Check Dam

LINE TABLE

LINE	BEARING	LENGTH
L1	N02°52'14"W	36.27'

- LEGEND**
- IP S IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)
  - IP IRON PIN FND
  - IP CONC. MONUMENT FOUND
  - FENCE



PHASE II - 10.07 ACRES±



**LEGEND**

- ⊙ Existing Fire Hydrant
- ⊙ Proposed Fire Hydrant
- ⊙ Reducer
- ⊙ Water Valve
- ⊙ Water Meter
- ⊙ Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
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- Proposed Stormwater
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- ⊙ Existing Manhole
- ⊙ Proposed Manhole
- ⊙ Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- ⊙ Existing Spot Elevations
- ⊙ Proposed Spot Elevations
- Siltation Fence
- Siltation Fence (Once Constructed)
- Turf Reinforcement Mat
- Stone Check Dam

CONTRACTOR TO COORDINATE WITH MURFREESBORO WATER RESOURCES DEPARTMENT IN REGARDS TO REMOVAL OF EXISTING SANITARY SEWER AND INSTALLATION OF PROPOSED SANITARY SEWER IN SHUTTLES DRIVE AND E. LOKEY AVE.

NOTE: Planning department approval of this site plan, may or may not adequately reflect the latest requirements and/or plans approved by Murfreesboro Water Resources Department (MWRD). This also applies to site plans that are included in the building permit set. Contractor must vary with MWRD that they are using approved Utility Plans.

NOTE: CONTRACTOR IS TO COORDINATE WATER AND SEWER SERVICES WITH ARCHITECT AND MWRD.

MCCARTY  
HOLSAPLE  
MCCARTY  
**MHM**  
ARCHITECTS  
& INTERIOR  
DESIGNERS

19035

350 W. MAIN STREET, SUITE 300  
KNOXVILLE, TENNESSEE 37902  
CONTACT: Margaret Butler  
EMAIL: mbutler@mhmnc.com  
PHONE: (865) 544-2000  
FAX: (865) 544-2000  
INTERNET: mhmnc.com

**OAKLAND COURT REDEVELOPMENT**

415 N. MAPLE ST.  
MURFREESBORO, TENNESSEE 37130

PROJECT INFORMATION  
CONTRACT: 54C-020000000000

ACTIVE DESIGN PHASE  
SCHEMATIC DESIGN  
DESIGN DEVELOPMENT  
RED-CHECK  
CONSTRUCTION DOCUMENTS  
CONSTRUCTION BEGINNING PHASE  
CONSTRUCTION ADMINISTRATION

CONSULTANT INFORMATION  
MURFREESBORO WATER RESOURCES DEPARTMENT  
D.B. 123, PG. 403  
ZONED: CM

APPROVED FOR CONSTRUCTION  
THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE MURFREESBORO WATER RESOURCES DEPARTMENT  
UNDER THE AUTHORITY DELEGATED BY THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND ADMINISTRATION TO THE DIRECTOR OF THE DIVISION OF WATER SUPPLY AND DISTRIBUTION.  
THIS APPROVAL SHALL NOT BE CONSTRUED AS CREATING A PRESUMPTION OF ACCURACY OR AS A GUARANTEE OF THE ACCURACY OF THE DATA AND SERVICE PROVIDED BY THE APPROVED FACILITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING A COMPLETE TITLE SEARCH.  
APPROVAL DATE: JANUARY 5, 2007  
APPROVAL EXPIRES IN 18 MONTHS

OWNER: MURFREESBORO HOUSING AUTHORITY  
ADDRESS: 415 N. MAPLE STREET  
MURFREESBORO, TN 37130  
TAX MAP: 031E GROUP 131 PARCEL: 39.00  
DEED BOOK: 129 PAGE: 463  
MAP NUMBER: 47149C0260H  
DATED: JANUARY 5, 2007 ZONE: X  
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS OTHER THAN THOSE SHOWN BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

NO.	DATE	DESCRIPTION
0	9-17-20	ORIGINAL ISSUE
1	10-7-20	ADDRESSED STAFF COMMENTS
2	11-13-20	SURVEYOR'S/ENGINEER'S REVISIONS
3	03-24-21	REVISED PER MWRD COMMENTS
4		
5		

NO.	Date	Description

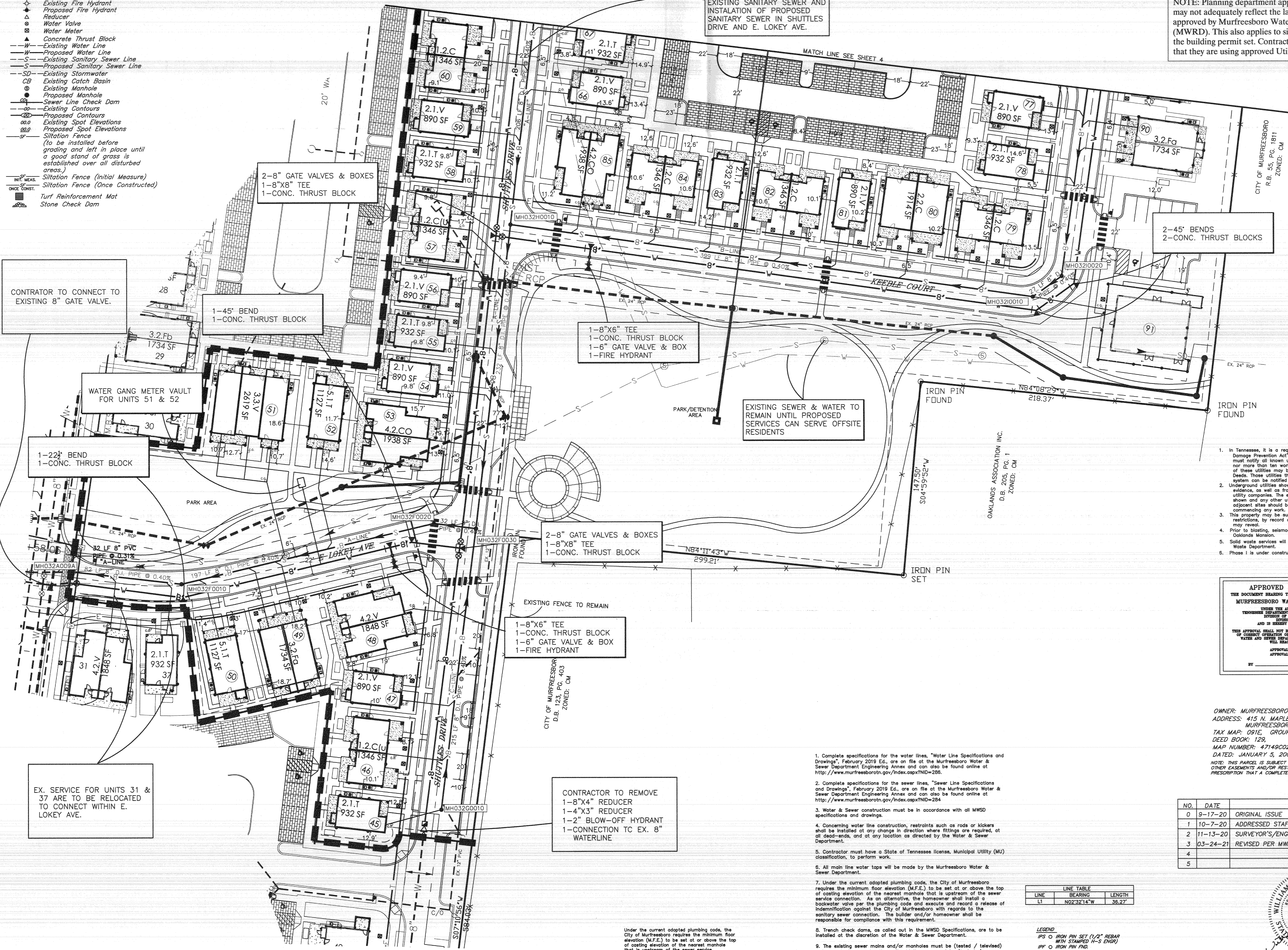
DRAWING INFORMATION  
SCALE: SCALE: 1"=30'  
SCALE GUIDE:  
DWG. ISSUED: 13 NOV 2020  
PRJ. MGR: Margaret Butler  
PA. / P.C.: Jake Thomas  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
DRAWING TITLE: [Signature]

DRAWING NO.: SH. SP8 OF SP16

BINDING EDGE

BINDING EDGE

BINDING EDGE



CONTRACTOR TO CONNECT TO EXISTING 8" GATE VALVE.

WATER GANG METER VAULT FOR UNITS 51 & 52

1-22" BEND  
1-CONC. THRUST BLOCK

2-8" GATE VALVES & BOXES  
1-8"X8" TEE  
1-CONC. THRUST BLOCK

1-45° BEND  
1-CONC. THRUST BLOCK

1-8"X6" TEE  
1-CONC. THRUST BLOCK  
1-8" GATE VALVE & BOX  
1-FIRE HYDRANT

EXISTING SEWER & WATER TO REMAIN UNTIL PROPOSED SERVICES CAN SERVE OFFSITE RESIDENTS

2-8" GATE VALVES & BOXES  
1-8"X8" TEE  
1-CONC. THRUST BLOCK

1-8"X6" TEE  
1-CONC. THRUST BLOCK  
1-6" GATE VALVE & BOX  
1-FIRE HYDRANT

CONTRACTOR TO REMOVE  
1-8"X4" REDUCER  
1-4"X3" REDUCER  
1-2" BLOW-OFF HYDRANT  
1-CONNECTION TO EX. 8" WATERLINE

EX. SERVICE FOR UNITS 31 & 37 ARE TO BE RELOCATED TO CONNECT WITHIN E. LOKEY AVE.

1. Complete specifications for the water lines, "Water Line Specifications and Drawings", February 2019 Ed., are on file at the Murfreesboro Water & Sewer Department Engineering Annex and can also be found online at <http://www.murfreesborotn.gov/index.aspx?TID=285>.

2. Complete specifications for the sewer lines, "Sewer Line Specifications and Drawings", February 2019 Ed., are on file at the Murfreesboro Water & Sewer Department Engineering Annex and can also be found online at <http://www.murfreesborotn.gov/index.aspx?TID=284>.

3. Water & Sewer construction must be in accordance with all MWSO specifications and drawings.

4. Concerning water line construction, restraints such as rods or kickers shall be installed at any change in direction where fittings are required, at all dead-ends, and at any location as directed by the Water & Sewer Department.

5. Contractor must have a State of Tennessee license, Municipal Utility (MU) classification, to perform work.

6. All main line water taps will be made by the Murfreesboro Water & Sewer Department.

7. Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.

8. Tranch check dams, as called out in the MWSO Specifications, are to be installed at the discretion of the Water & Sewer Department.

9. The existing sewer mains and/or manholes must be (tested & televised) before and after construction. Should the sewer not be (tested & televised) prior to construction any defects found after construction will be the responsibility of the contractor to repair at his or her expense.

10. All proposed manholes must be wrapped in a Conesol, or an approved equal, 12" minimum water and soil barrier wrap at each manhole section joint and at any other manhole component, as directed by MWSO.

11. No more than 25 percent of the dollar amount of the Contract may be awarded to subcontractors.

12. A maximum of 2 - 6" (6 in.) adjustment rings will be allowed per any existing or proposed manholes associated with this installation. If any manhole requires adjustment beyond the 2 - 6" adjustment rings allowed then the contractor must remove, adjust, or add barrel sections to the manhole to get it to grade at his or her own expense.

13. All newly constructed sanitary sewer mains, rehabilitated sanitary sewer laterals and mains, existing sanitary sewer mains that intersect under or over a newly constructed or removed utility, or any sewer main that has been physically altered in any way must be fully televised via an In-line Closed Circuit Television (CCTV) post construction survey fully compliant with the guidelines set forth by the North American Sanitary Sewer Companies' (NASSCO) Pipeline Assessment Certification Program (PACP) at the expense of the contractor.

Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.

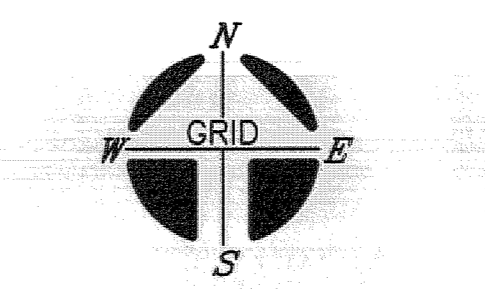
A MAXIMUM OF 2 - 6" (6 in.) ADJUSTMENT RINGS WILL BE ALLOWED PER ANY EXISTING OR PROPOSED MANHOLES ASSOCIATED WITH THIS INSTALLATION. IF ANY MANHOLE REQUIRES ADJUSTMENT BEYOND THE 2 - 6" ADJUSTMENT RINGS ALLOWED THEN THE CONTRACTOR MUST REMOVE, ADJUST, OR ADD BARREL SECTIONS TO THE MANHOLE TO GET IT TO GRADE AT HIS OR HER OWN EXPENSE.

THE EXISTING SANITARY SEWER MAINS THAT WILL CROSS UNDER OR OVER THE NEWLY CONSTRUCTED UTILITY MAIN(S) OR OTHER INFRASTRUCTURE MUST UNDERGO AN IN-LINE PIPELINE ASSESSMENT CERTIFICATION PROGRAM (PACP) CITY SURVEY AFTER CONSTRUCTION OF THE NEW UTILITY LINE HAS BEEN COMPLETED AND BE SUBMITTED TO MWRD FOR REVIEW AND APPROVAL.

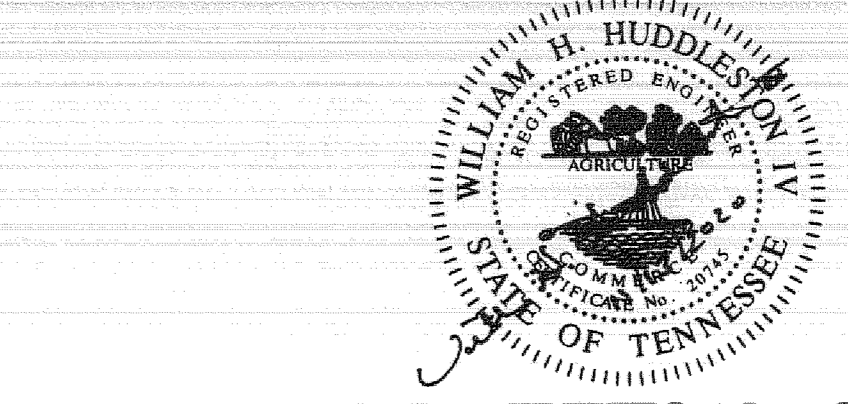
SEWER SERVICES WILL BE PRIVATE PAST THE 45TH RIGHT OFF THE MAIN ALONG PRIVATE STREETS.

LINE	BEARING	LENGTH
11	N02°32'14"W	35.27'

- IPS ○ IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)
- IPF ○ IRON PIN FLAG
- CONC. MONUMENT FOUND
- FENCE



PHASE II - 10.07 ACRES±



**HSHUDDLESTON-STEELE**  
ENGINEERING, INC.  
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
SURVEYING: 893 - 4084, FAX: 893 - 0080

SANITARY SEWER & WATER LINES  
PLAN

**OAKLAND COURT**  
PHASE II SITE PLAN

20th CIVIL DISTRICT - RUTHERFORD COUNTY - TN.



BINDING EDGE

BINDING EDGE

BINDING EDGE

1.5" MILL AND OVERLAY

MWRD TO INSTALL 6" TAPPING SLEEVE & VALVE CONTRACTOR TO INSTALL 1-8" TEE 3-8" 45° BENDS 5-CONC. THRUST BLOCKS 2-8" GATE VALVES & BOXES 1-8"x6" REDUCER

EXISTING MANHOLE IS TO BE REPLACED

2-11 1/2" BENDS 2-CONC. THRUST BLOCKS

1-8"x6" TEE 1-CONC. THRUST BLOCK 1-6" GATE VALVE & BOX 1-FIRE HYDRANT

2-45° BENDS 2-CONC. THRUST BLOCKS

1-11 1/2" BEND 1-CONC. THRUST BLOCK

CONTRACTOR TO REMOVE FITTING AND BLOWOFF AND CONNECT TO EXISTING 8" LINE.

CONTRACTOR TO RETURN BLOW OFF HYDRANT TO MWRD O&M.

2-8" GATE VALVES & BOXES 1-8"x8" TEE 1-CONC. THRUST BLOCK

CONTRACTOR TO COORDINATE WITH MURFREESBORO WATER RESOURCES DEPARTMENT IN REGARDS TO REMOVAL OF EXISTING SANITARY SEWER AND INSTALLATION OF PROPOSED SANITARY SEWER IN SHUTTLES DRIVE AND E. LOKEY AVE.

**LEGEND**

- ⊕ Power Pole
- ⊖ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊖ Reducer
- ⊕ Water Valve
- ⊖ Water Meter
- ⊕ Concrete Thrust Block
- ⊖ Existing Water Line
- ⊕ Proposed Water Line
- ⊖ Existing Sanitary Sewer Line
- ⊕ Proposed Sanitary Sewer Line
- ⊖ SD - Existing Stormwater
- ⊕ Existing Catch Basin
- ⊖ Existing Manhole
- ⊕ Proposed Manhole
- ⊖ Sewer Line Check Dam
- ⊕ Existing Contours
- ⊖ Proposed Contours
- ⊕ Existing Spot Elevations
- ⊖ Proposed Spot Elevations
- ⊕ Siltation Fence (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas)
- ⊖ Siltation Fence (Initial Measure)
- ⊕ Siltation Fence (Once Constructed)
- ⊖ Turf Reinforcement Mat
- ⊕ Stone Check Dam

**STANDARD NOTES:**

- IN ACCORDANCE WITH TCA SECTION 7-59-310(a)(1), COMPETITIVE CABLE AND VIDEO SERVICES ACT, IN CASES OF NEW CONSTRUCTION OR PROPERTY DEVELOPMENT WHERE UTILITIES ARE TO BE PLACED UNDERGROUND, THE DEVELOPER OR PROPERTY OWNER SHALL GIVE ALL PROVIDERS OF CABLE OR VIDEO SERVING THE CITY OF MURFREESBORO DATES ON WHICH OPEN TRENCHING WILL BE AVAILABLE FOR THE PROVIDERS' INSTALLATION OF CONDUIT, PEDESTALS OR VALVES, AND LATERALS, REFERRED TO AS "EQUIPMENT", TO BE PROVIDED AT EACH SUCH PROVIDER'S EXPENSE.
- ALL SIGNAGE, INCLUDING FLAGS AND FLAGPOLES, IS SUBJECT TO INDEPENDENT REVIEW BY THE BUILDING AND CODES DEPARTMENT. ALL SIGNAGE MUST CONFORM TO THEIR REQUIREMENTS AND REQUIRE SEPARATE SIGN PERMITS.
- A LAND DISTURBANCE PERMIT MAY BE REQUIRED. DETERMINATION WHETHER A LAND DISTURBANCE PERMIT IS REQUIRED SHALL BE MADE BY THE CITY ENGINEER. A SEPARATE LAND DISTURBANCE PERMIT SHALL BE OBTAINED FROM THE CITY ENGINEER FOR REVIEW AND UPON APPROVAL FOR ISSUANCE OF A DISTURBANCE PERMIT.
- FOR ALL DEVELOPMENTS OF MORE THAN ONE ACRE, A STATE OF TENNESSEE CONSTRUCTION GENERAL PERMIT IS REQUIRED. EVIDENCE OF THIS PERMIT MUST BE PROVIDED TO THE OFFICE OF THE CITY ENGINEER PRIOR TO CONSTRUCTION COMMENCEMENT.
- A STORMWATER MANAGEMENT PLAN DEMONSTRATING THAT THE SITE PROVIDES FOR TREATMENT OF THE WATER QUALITY VOLUME AND PROVIDES FOR MANAGEMENT OF THE STREAMBANK PROTECTION VOLUME MUST BE PROVIDED.
- AN ENGINEER'S CERTIFICATION OF THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES MUST BE PROVIDED TO THE CITY ENGINEER PRIOR TO CERTIFICATE OF OCCUPANCY.
- A STORMWATER FEE CREDIT APPLICATION MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- A STORMWATER FACILITIES OPERATION AND MAINTENANCE PLAN AND A STORMWATER FACILITIES MAINTENANCE AGREEMENT MUST BE SUBMITTED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- THE STORMWATER FACILITIES MAINTENANCE AGREEMENT MUST BE RECORDED PRIOR TO CERTIFICATE OF OCCUPANCY.
- UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE HOMEOWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE BUILDER AND/OR HOMEOWNER SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THIS REQUIREMENT.

**NOTES**

- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available above-ground evidence, as well as from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites shall be confirmed with the utility owner prior to commencing any work.
- This property may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Prior to blasting, seismographic equipment shall be placed at the Oaklands Mansion.
- Solid waste services will be provided by the City of Murfreesboro Solid Waste Department.
- Phase I is under construction.

**APPROVED FOR CONSTRUCTION**  
 THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE  
**MURFREESBORO WATER RESOURCE DEPARTMENT**  
 UNDER THE AUTHORITY DELEGATED BY THE  
 TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION  
 DIVISION OF WATER POLLUTION CONTROL  
 DIVISION OF WATER SERVICE  
 AND IS HEREBY APPROVED FOR CONSTRUCTION.  
 THIS APPROVAL IS VALID AS LONG AS THERE IS NO CHANGE OF JURISDICTION OF CONSTRUCTION OR AS LONG AS THE CITY OF MURFREESBORO WATER AND SEWER DEPARTMENT THAT THE APPROVED FACILITIES WILL MEET THE DESIGN GOALS.  
 APPROVAL EXPIRES IN 18 MONTHS  
 BY \_\_\_\_\_

- Complete specifications for the water lines, "Water Line Specifications and Drawings", February 2019 Ed., are on file at the Murfreesboro Water & Sewer Department Engineering Annex and can also be found online at <http://www.murfreesboro.gov/index.cfm?nid=285>
- Complete specifications for the sewer lines, "Sewer Line Specifications and Drawings", February 2019 Ed., are on file at the Murfreesboro Water & Sewer Department Engineering Annex and can also be found online at <http://www.murfreesboro.gov/index.cfm?nid=284>
- Water & Sewer construction must be in accordance with all MWRD specifications and drawings.
- Concerning water line construction, restraints such as rods or kickers shall be installed at any change in direction where fittings are required, at all dead-ends, and at any location as directed by the Water & Sewer Department.
- Contractor must have a State of Tennessee license, Municipal Utility (MU) classification, to perform work.
- All main line water taps will be made by the Murfreesboro Water & Sewer Department.
- Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- Trench check dams, as called out in the MWRD Specifications, are to be installed at the discretion of the Water & Sewer Department.
- The existing sewer mains and/or manholes must be (tested / televised) before and after construction. Should the sewer not be (tested / televised) prior to construction any defects found after construction will be the responsibility of the contractor to repair at his or her own expense.
- All proposed manholes must be wrapped in a Conesed, or an approved equal, 12" minimum water and soil barrier wrap at each manhole section joint and at any other manhole component as directed by MWRD.
- No more than 25 percent of the dollar amount of the Contract may be awarded to subcontractors.
- A maximum of 2 - 6" (6 in.) adjustment rings will be allowed per any existing or proposed manholes associated with this installation. IF ANY MANHOLE REQUIRES ADJUSTMENT BEYOND THE 2 - 6" ADJUSTMENT RINGS ALLOWED THEN THE CONTRACTOR MUST REMOVE, ADJUST, OR ADD BARRIS, SECTIONS TO THE MANHOLE TO GET IT TO GRADE. THIS IS HIS OR HER OWN EXPENSE.
- The existing sanitary sewer mains that will cross under or over the newly constructed utility (main) or other infrastructure MUST UNDERGO AN IN-LINE PIPELINE ASSESSMENT CERTIFICATION PROGRAM (PACP) CITY SURVEY AFTER CONSTRUCTION OF THE NEW UTILITY LINE HAS BEEN COMPLETED AND BE SUBMITTED TO MWRD FOR REVIEW AND APPROVAL.
- SEWER SERVICES WILL BE PRIVATE PAST THE 45th BOUNDARY OFF THE MAIN ALONG PRIVATE STREETS.
- All newly constructed sanitary sewer mains, rehabilitated sanitary sewer laterals and mains, existing sanitary sewer mains that intersect under or over a newly constructed or removed utility, or any sewer main that has been physically altered in any way must be fully televised via an In-Line Closed Circuit Television (CCTV) post construction survey fully compliant with the guidelines set forth by the North American Sanitary Sewer Companies' (NASSCO) Pipeline Assessment Certification Program (PACP) at the expense of the contractor.

**NOTE:** Planning department approval of this site plan, may or may not adequately reflect the latest requirements and/or plans approved by Murfreesboro Water Resources Department (MWRD). This also applies to site plans that are included in the building permit set. Contractor must verify with MWRD that they are using approved Utility Plans.

**NOTE:** CONTRACTOR IS TO COORDINATE WATER AND SEWER SERVICES WITH ARCHITECT AND MWRD.

Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.

A MAXIMUM OF 2 - 6" (6 IN.) ADJUSTMENT RINGS WILL BE ALLOWED PER ANY EXISTING OR PROPOSED MANHOLES ASSOCIATED WITH THIS INSTALLATION. IF ANY MANHOLE REQUIRES ADJUSTMENT BEYOND THE 2 - 6" ADJUSTMENT RINGS ALLOWED THEN THE CONTRACTOR MUST REMOVE, ADJUST, OR ADD BARRIS, SECTIONS TO THE MANHOLE TO GET IT TO GRADE. THIS IS HIS OR HER OWN EXPENSE.

THE EXISTING SANITARY SEWER MAINS THAT WILL CROSS UNDER OR OVER THE NEWLY CONSTRUCTED UTILITY (MAIN) OR OTHER INFRASTRUCTURE MUST UNDERGO AN IN-LINE PIPELINE ASSESSMENT CERTIFICATION PROGRAM (PACP) CITY SURVEY AFTER CONSTRUCTION OF THE NEW UTILITY LINE HAS BEEN COMPLETED AND BE SUBMITTED TO MWRD FOR REVIEW AND APPROVAL.

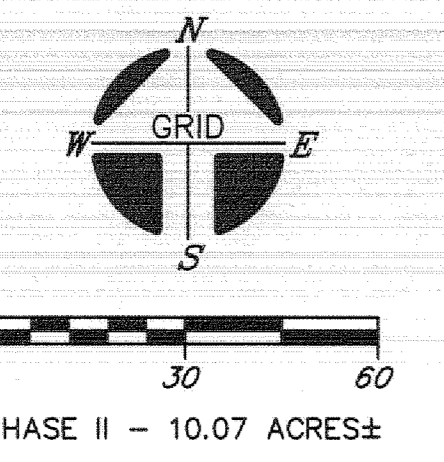
SEWER SERVICES WILL BE PRIVATE PAST THE 45th BOUNDARY OFF THE MAIN ALONG PRIVATE STREETS.

**LINE TABLE**

LINE	BEARING	LENGTH
LT	N02°52'14"W	39.27

**LEGEND**

- IFS ○ IRON PIN SET (1/2" BEAR WITH STAMPED 1-5 ENGR)
- IFP ○ IRON PIN FND.
- CONC. MONUMENT FOUND
- FENCE



**OWNER:** MURFREESBORO HOUSING AUTHORITY  
**ADDRESS:** 415 N. MAPLE STREET  
**MURFREESBORO, TN 37130**  
**TAX MAP:** 091E, GROUP "B", PARCEL: 39.00  
**DEED BOOK:** 125 PAGE: 463  
**MAP NUMBER:** 47149C0260H  
**DATED:** JANUARY 5, 2007 ZONE: X  
**NOTE:** THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

**HS HUDDLESTON-STEEL ENGINEERING INC.**  
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
 SURVEYING: 893 - 4084, FAX: 893 - 0080

**SANITARY SEWER & WATER LINES PLAN**  
**OAKLAND COURT**  
**PHASE II SITE PLAN**  
 20th CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

**MCCARTY HOLSAPLE MCCARTY**  
**MHM**  
 ARCHITECTS & INTERIOR DESIGNERS  
 19035  
 550 W. MAIN STREET, SUITE 300  
 KNOXVILLE, TENNESSEE 37902  
 CONTACT: Margaret Butler  
 EMAIL: mbutler@mhmnc.com  
 TELEPHONE: (865) 544-2000  
 FACSIMILE: (865) 544-0402  
 INTERNET: mhmnc.com

**PROJECT INFORMATION**  
 CONTRACT: SBC-0000000000000000  
**OAKLAND COURT REDEVELOPMENT**  
 415 N. MAPLE ST.  
 MURFREESBORO, TENNESSEE 37130

**ACTIVE DESIGN PHASE**

SCHEMATIC DESIGN
DESIGN DEVELOPMENT
RED-CHECK
CONSTRUCTION DOCUMENTS
CONSTRUCTION BIDDING PHASE
CONSTRUCTION ADMINISTRATION

**CONSULTANT INFORMATION**

**CODES OFFICIAL REVIEW**

**KEY PLAN:**

**REVISION INFORMATION**

No.	Date	Description

**DRAWING INFORMATION**

SCALE: 1" = 30'

SCALE GUIDE: 13 NOV 2020

DWG ISSUED:

PRJ MGR: Margaret Butler

PA / P.C.: Jake Thomas

DRAWN BY: Aulicia

CHECKED BY: Project/Checked By

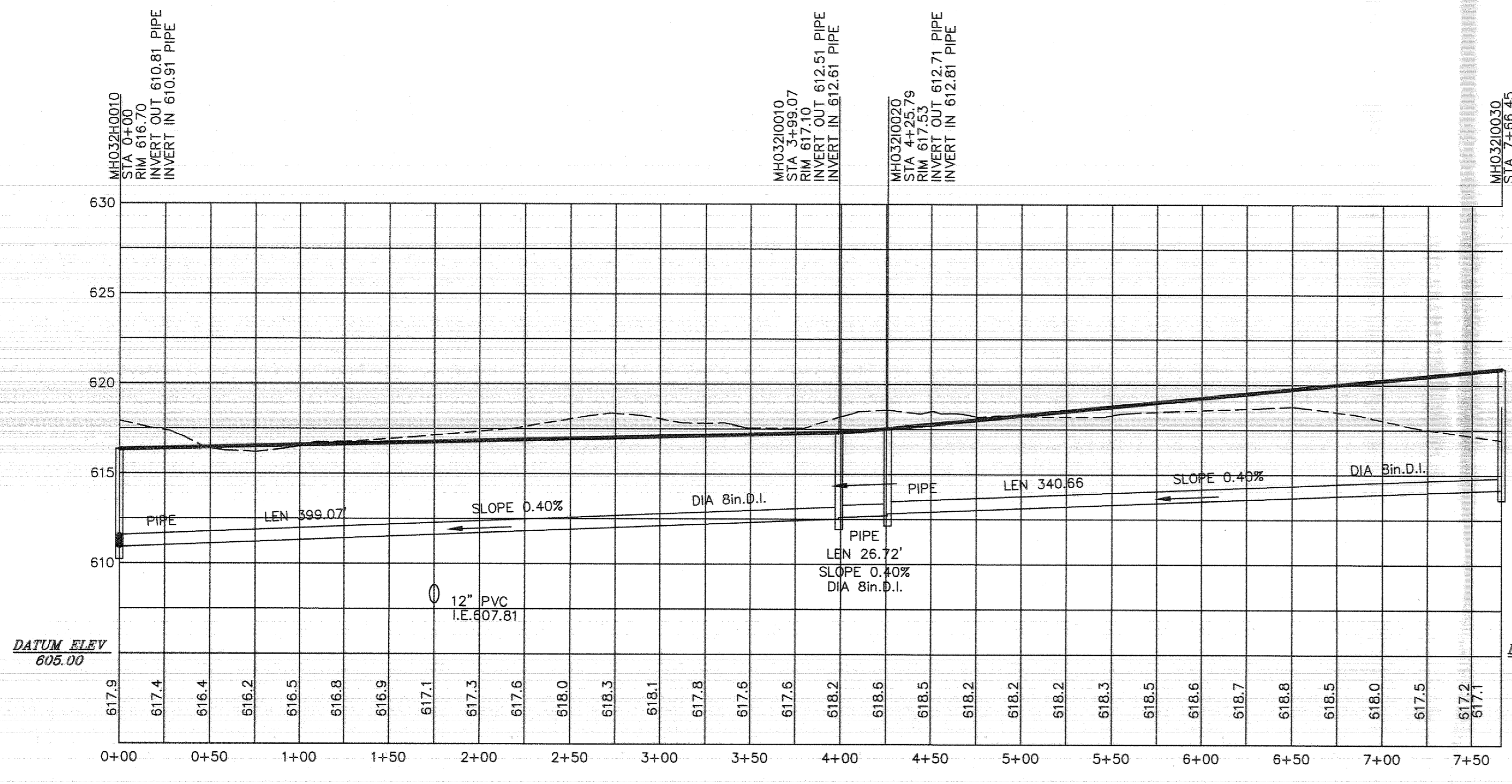
DRAWING TITLE:

**DRAWING NO.:** SH. SP9 OF SP10

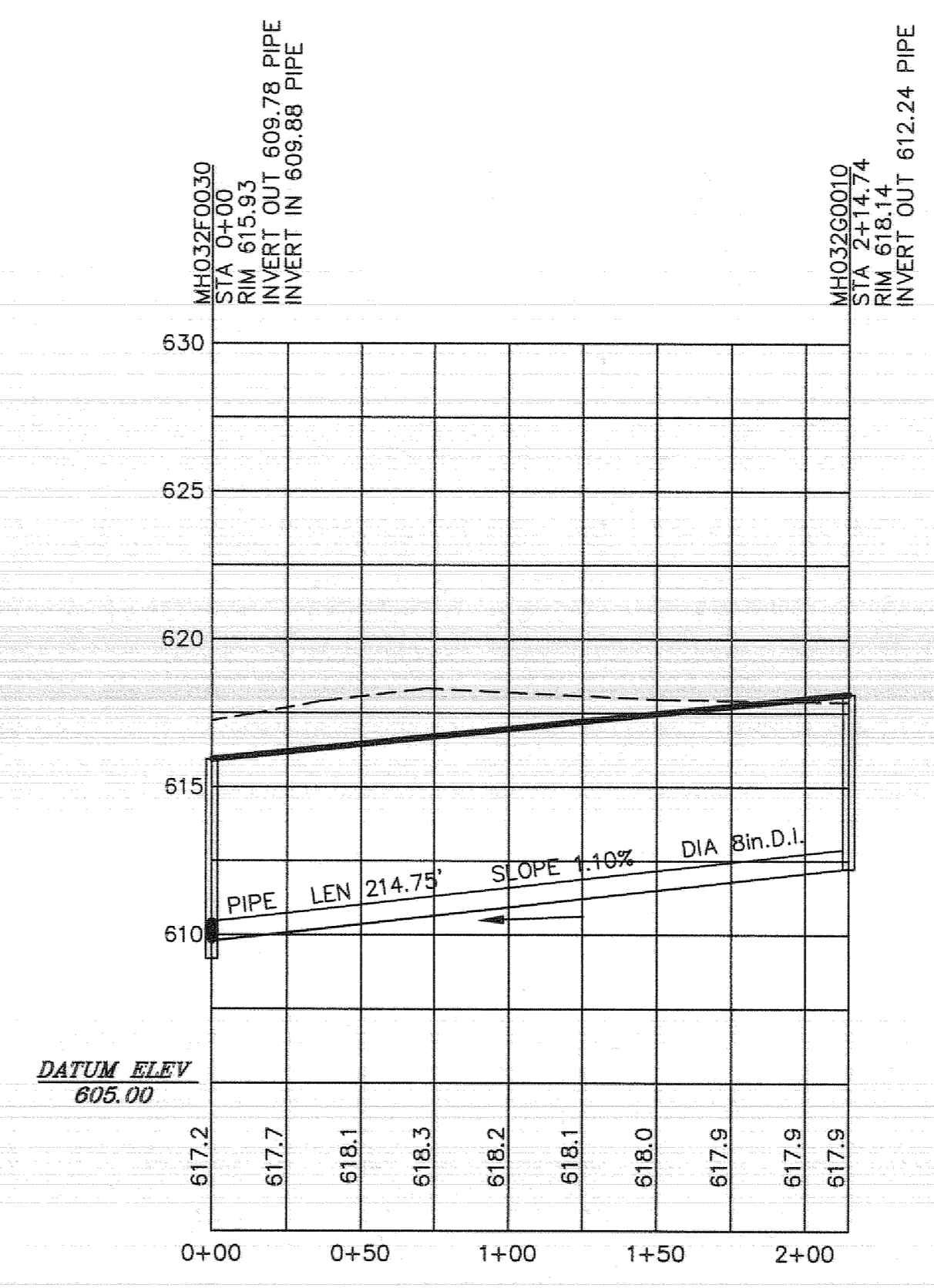
BINDING EDGE

BINDING EDGE

BINDING EDGE



"B-LINE"



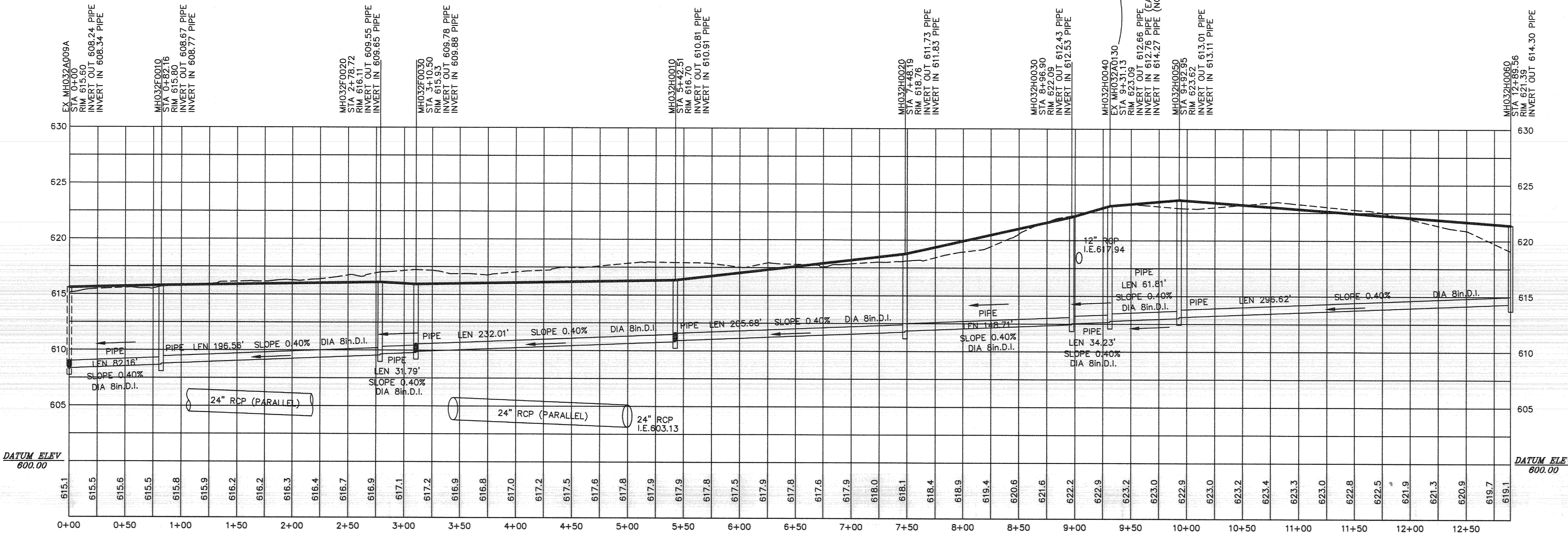
"C-LINE"

**APPROVED FOR CONSTRUCTION**  
 THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE  
**MURFREESBORO WATER RESOURCE DEPARTMENT**  
 UNDER THE AUTHORITY DELEGATED BY THE  
 TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION  
 DIVISION OF WATER POLLUTION CONTROL  
 DIVISION OF WATER SURVEY  
 AND IS HEREBY APPROVED FOR CONSTRUCTION.  
 THIS APPROVAL SHALL NOT BE CONSIDERED AS CREATING A PRESUMPTION  
 OF CORRECT OPERATION OR AS WAIVING BY THE MURFREESBORO  
 WATER AND SEWER DEPARTMENT THE DESIGN FACILITIES  
 THAT EXIST AT THE DESIGNED GRADE.  
 APPROVAL DATE: \_\_\_\_\_  
 APPROVAL PERIOD: 12 MONTHS  
 BY: \_\_\_\_\_

**NOTES**

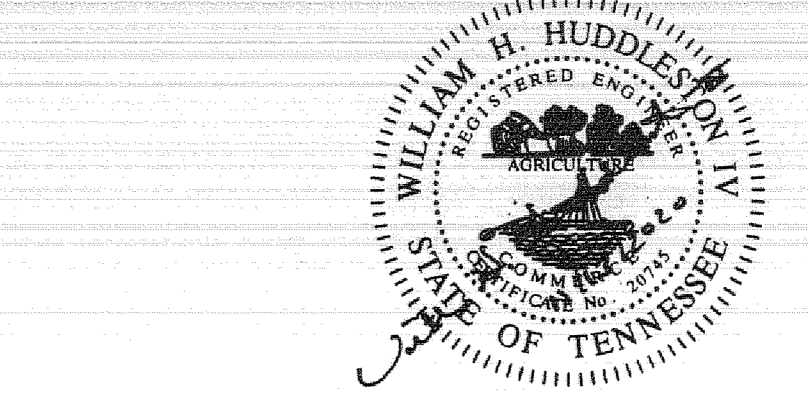
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available aboveground evidence, as well as from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- This property may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Phase I is under construction.

OWNER: MURFREESBORO HOUSING AUTHORITY  
 ADDRESS: 415 N. MAPLE STREET  
 MURFREESBORO, TN, 37130  
 TAX MAP: 091E, GROUP "B", PARCEL: 39.00  
 DEED BOOK: 129, PAGE: 463  
 MAP NUMBER: 47149C02604  
 DATED: JANUARY 5, 2007 ZONE: X  
 NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.



"A-LINE"

NO.	DATE	DESCRIPTION
1	10-08-20	PHASE II CONSTRUCTION PLAN
2	11-13-20	SURVEYOR'S/ENGINEER'S REVISIONS
3	03-24-21	REVISED PER MWRD COMMENTS
4		
5		
6		
7		



**HS HUDDLESTON-STEELE ENGINEERING INC.**  
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
 SURVEYING : 893 - 4084, FAX: 893 - 0080

**SEWER PROFILES**  
**OAKLAND COURT**  
 PHASE II CONSTRUCTION PLAN  
 20th CIVIL DISTRICT - RUTHERFORD COUNTY - TN

**MCCARTY HOLSAPLE MCCARTY**  
**MHM**  
 ARCHITECTS & INTERIOR DESIGNERS

19035  
 550 W. MAIN STREET, SUITE 300  
 KNOXVILLE, TENNESSEE 37902

CONTACT: M232@mhmc.com  
 EMAIL: mhmc@mhmc.com  
 TELEPHONE: (865) 544-2000  
 FACSIMILE: (865) 544-0402  
 INTERNET: mhmc.com

**PROJECT INFORMATION**  
 CONTRACT: SBC-00000000000000

**OAKLAND COURT REDEVELOPMENT**  
 415 N. MAPLE ST.  
 MURFREESBORO, TENNESSEE 37130

**ACTIVE DESIGN PHASE**

SCHEMATIC DESIGN
DESIGN DEVELOPMENT
REDL-CHECK
CONSTRUCTION DOCUMENTS
CONSTRUCTION BIDDING PHASE
CONSTRUCTION ADMINISTRATION

SEALED: \_\_\_\_\_

© MCCARTY HOLSAPLE MCCARTY, INC.  
 50 MFD 3026 DRAWING, SEE DIMENSIONS ONLY.  
 1" NOT SHOWN, VERIFY CANNOT COMPARE WITH ARCHITECT. CONTRACTOR AND CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF SITE.

**CONSULTANT INFORMATION**

**REVISION INFORMATION**

No.	Date	Description

**DRAWING INFORMATION**  
 SCALE: SCALE: 1"=50'  
 SCALE GUIDE:  
 DWG ISSUED: 13 NOV 2020  
 PRJ MGR: Margaret Butler  
 PA / PC: Jake Thomas / J...  
 DRAWN BY: Author  
 CHECKED BY: Project Checked By  
 DRAWING TITLE: \_\_\_\_\_

DRAWING NO: \_\_\_\_\_  
 SH. SP10 OF SP16

BINDING EDGE

BINDING EDGE

BINDING EDGE



**LEGEND**

- ⊕ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Water Valve
- ⊕ Water Meter
- ⊕ Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Stormwater
- Proposed Stormwater
- CB Existing Catch Basin
- ⊕ Existing Manhole
- ⊕ Proposed Manhole
- ⊕ Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- 0.0 Existing Spot Elevations
- 0.0 Proposed Spot Elevations
- SF Station Fence (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas)
- INT. MEAS. Station Fence (Initial Measure)
- ONCE CONST. Station Fence (Once Constructed)
- Turf Reinforcement Mat
- Stone Check Dam

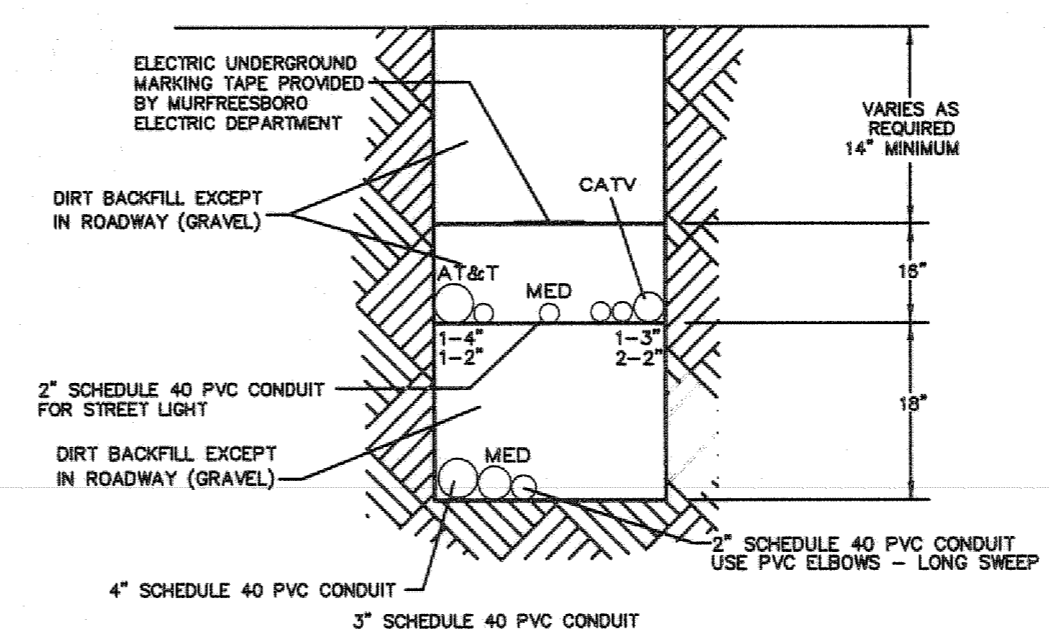
**LEGEND**

- IPS O IRON PIN SET (1/2" REBAR WITH STAMPED "H-S ENGR")
- IPF O IRON PIN FND.
- CONC. MONUMENT FOUND
- FENCE

- NOTES**
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
  - Underground utilities shown were located using available aboveground evidence, as well as from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
  - This property may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
  - Prior to blasting, seismographic equipment shall be placed at the Oaklands location.
  - Solid waste services will be provided by the City of Murfreesboro Solid Waste Department.
  - Phase II is under construction.

**LINE TABLE**

LINE	BEARING	LENGTH
LT	N02°32'14"W	38.27'



- NOTES**
- ELECTRIC, TELEPHONE, & CABLE CONDUITS ARE TO BE INSTALLED BY THE CONTRACTOR.
  - TELEPHONE & CABLE PEDESTALS/VAULTS WILL BE INSTALLED BY THE RESPECTIVE UTILITY COMPANIES AT THE ELECTRIC VAULT LOCATIONS.

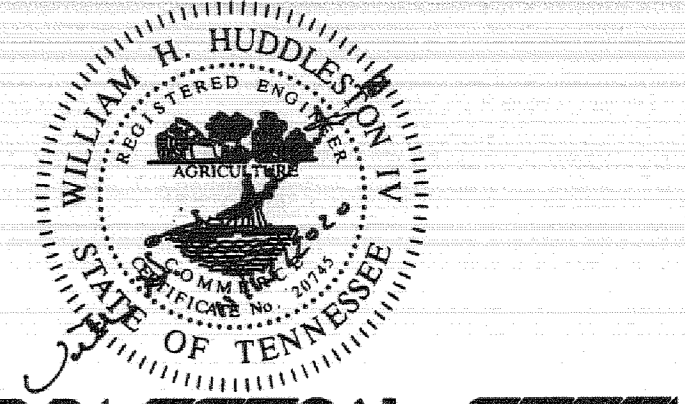
- PROPOSED Power Pole
- PROPOSED REGULAR SECONDARY VAULT
- PROPOSED LARGE SECONDARY VAULT
- PROPOSED PAD MOUNTED TRANSFORMER
- PROPOSED 1PH PRIMARY VAULT
- PROPOSED 3PH PRIMARY VAULT
- T E C — PROPOSED TRENCH

**STANDARD NOTES:**

- IN ACCORDANCE WITH TCA SECTION 7-59-310(b)(1), COMPETITIVE CABLE AND VIDEO SERVICES ARE TO BE PLACED UNDERGROUND. THE DEVELOPER OR PROPERTY OWNER SHALL OBTAIN ALL PERMITS FOR CABLE OR VIDEO SERVING THE CITY OF MURFREESBORO DATES ON WHICH OPEN TRENCHING WILL BE AVAILABLE FOR THE PROVIDERS' INSTALLATION OF CONDUIT, PEDESTALS OR VAULTS, AND LATERALS, REFERRED TO AS "EQUIPMENT," TO BE PROVIDED AT EACH SIGN PROVIDER'S EXPENSE.
- ALL SIGNAGE, INCLUDING FLAGS AND FLAGPOLES, IS SUBJECT TO INDEPENDENT REVIEW BY THE BUILDING AND CODES DEPARTMENT. ALL SIGNAGE MUST CONFORM TO THEIR REQUIREMENTS AND REQUIRE SEPARATE SIGN PERMITS.
- A LAND DISTURBANCE PERMIT MAY BE REQUIRED. DETERMINATION WHETHER A LAND DISTURBANCE PERMIT IS REQUIRED SHALL BE MADE BY THE CITY ENGINEER. A SEPARATE LAND DISTURBANCE PERMIT SHALL BE MADE WITH THE OFFICE OF THE CITY ENGINEER FOR REVIEW AND UPON APPROVAL FOR ISSUANCE OF A LAND DISTURBANCE PERMIT.
- FOR ALL DEVELOPMENTS OF MORE THAN ONE ACRE, A STATE OF TENNESSEE CONSTRUCTION GENERAL PERMIT IS REQUIRED. EVIDENCE OF THIS PERMIT MUST BE PROVIDED TO THE OFFICE OF THE CITY ENGINEER PRIOR TO CONSTRUCTION COMMENCEMENT.
- A STORMWATER MANAGEMENT PLAN DEMONSTRATING THAT THE SITE PROVIDES FOR TREATMENT OF THE WATER QUALITY VOLUME AND PROVIDES FOR MANAGEMENT OF THE STREAMBANK PROTECTION VOLUME MUST BE PROVIDED.
- AN ENGINEER'S CERTIFICATION OF THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES MUST BE PROVIDED TO THE CITY ENGINEER PRIOR TO CERTIFICATE OF OCCUPANCY.
- A STORMWATER FEE CREDIT APPLICATION MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- A STORMWATER FACILITIES OPERATION AND MAINTENANCE PLAN AND A STORMWATER FACILITIES MAINTENANCE AGREEMENT MUST BE SUBMITTED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- THE STORMWATER FACILITIES MAINTENANCE AGREEMENT MUST BE RECORDED PRIOR TO CERTIFICATE OF OCCUPANCY.
- UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATE, THE HOMEOWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH RESPECTS TO THE SANITARY SEWER CONNECTION. THE BUILDER AND/OR HOMEOWNER SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THIS REQUIREMENT.

**OWNER: MURFREESBORO HOUSING AUTHORITY**  
**ADDRESS: 415 N. MAPLE STREET**  
**MURFREESBORO, TN, 37130**  
**TAX MAP: 051E, GROUP 12, PARCEL: 39.00**  
**DEED BOOK: 129, PAGE: 463**  
**MAP NUMBER: 4714SC0260H**  
**DATED: JANUARY 5, 2007** ZONE: X  
**NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS STUDY RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.**

NO.	DATE	DESCRIPTION
0	9-17-20	ORIGINAL ISSUE
1	10-7-20	ADDRESSED STAFF COMMENTS
2	11-13-20	SURVEYOR'S/ENGINEER'S REVISIONS
3		
4		
5		

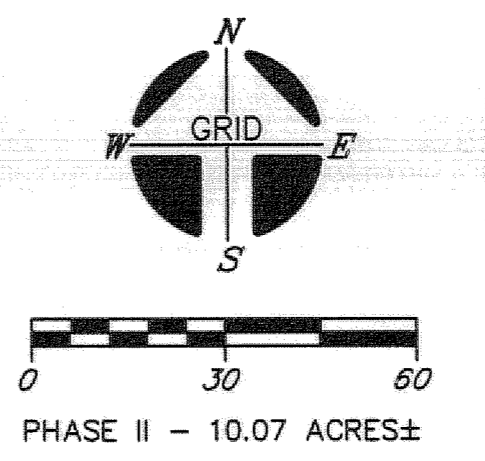


**HUDDLESTON-STEELE ENGINEERING, INC.**  
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
 SURVEYING: 893 - 4084, FAX: 893 - 0080

**ELECTRIC, TELEPHONE, & CABLE TV PLAN**

**OAKLAND COURT PHASE II SITE PLAN**

20th CIVIL DISTRICT - RUTHERFORD COUNTY - TN.



**MCCARTY HOLSAPLE MCCARTY**  
**MHM**  
 ARCHITECTS & INTERIOR DESIGNERS  
 19035  
 350 W. MAIN STREET, SUITE 300  
 KNOXVILLE, TENNESSEE 37902  
 CONTACT: Margaret Butler  
 EMAIL: mbutler@mhmc.com  
 TELEPHONE: (865) 544-2000  
 FACSIMILE: (865) 544-0402  
 INTERNET: mhmc.com

**OAKLAND COURT REDEVELOPMENT**  
 415 N. MAPLE ST.  
 MURFREESBORO, TENNESSEE 37130

**ACTIVE DESIGN PHASE**

- SCHEMATIC DESIGN
- DESIGN DEVELOPMENT
- REDL CHECK
- CONSTRUCTION DOCUMENTS
- CONSTRUCTION BIDDING PHASE
- CONSTRUCTION ADMINISTRATION

**CONSULTANT INFORMATION**

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**CODES OFFICIAL REVIEW**

KEY PLAN:

**REVISION INFORMATION**

No.	Date	Description

**DRAWING INFORMATION**

SCALE: 1"=30'  
 SCALE GUIDE:  
 DWG ISSUED: 13 NOV 2020  
 PRJ MGR: Margaret Butler  
 PA / P.C.: Jake Thomas / Author  
 DRAWN BY: Project/Checked by  
 CHECKED BY: Project/Checked by  
 DRAWING TITLE:

**OAKLAND COURT REDEVELOPMENT**

415 N. MAPLE ST.  
MURFREESBORO, TENNESSEE 37130

PROJECT INFORMATION  
CONTRACT: SHC-00000000000000

ACTIVE DESIGN PHASE  
SCHEMATIC DESIGN  
DESIGN DEVELOPMENT  
BIDDING CHECK  
CONSTRUCTION DOCUMENTS  
CONSTRUCTION BIDDING PHASE  
CONSTRUCTION ADMINISTRATION

CONSULTANT INFORMATION

© McCarty Holsaple McCarty, Inc.  
Do NOT scale drawings. Use given dimensions only.  
If 2D sheets, verify correct orientation with ARCHICAD. Contractor shall check and verify all dimensions and conditions of job site.

**LEGEND**

- ⊕ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Water Valve
- ⊕ Water Meter
- Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Stormwater
- Proposed Stormwater
- CB Existing Catch Basin
- ⊕ Existing Manhole
- ⊕ Proposed Manhole
- Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- 0.0 Existing Spot Elevations
- 55.9 Proposed Spot Elevations
- (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- Siltation Fence (Initial Measure)
- Siltation Fence (Once Constructed)
- Turf Reinforcement Mat
- Stone Check Dam

**STANDARD NOTES:**  
1. IN ACCORDANCE WITH TCA SECTION 7-59-310(b)(1), COMPETITIVE CABLE AND VIDEO SERVICES ACT, IN CASES OF NEW CONSTRUCTION OR PROPERTY DEVELOPMENT WHERE UTILITIES ARE TO BE PLACED UNDERGROUND, THE DEVELOPER OR PROPERTY OWNER SHALL GIVE ALL PROVIDERS OF CABLE OR VIDEO SERVING THE CITY OF MURFREESBORO DATES ON WHICH OPEN TRENCHING WILL BE AVAILABLE FOR THE PROVIDERS' INSTALLATION OF CONDUIT, PEDESTALS OR VAULTS, AND LATERALS, REFERRED TO AS 'EQUIPMENT', TO BE PROVIDED AT EACH SUCH PROVIDER'S EXPENSE.  
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5. A STORMWATER MANAGEMENT PLAN DEMONSTRATING THAT THE SITE PROVIDES FOR TREATMENT OF THE WATER QUALITY VOLUME AND PROVIDES FOR MANAGEMENT OF THE STREAMBANK PROTECTION VOLUME MUST BE PROVIDED.  
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**NOTES**

1. In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
2. Underground utilities shown were located using available aboveground evidence, as well as from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
3. This property may be subject to additional assessments, and/or restrictions, by record or prescription, that a complete title search may reveal.
4. Prior to blasting, seismographic equipment shall be placed at the Oskanda location.
5. Solid waste services will be provided by the City of Murfreesboro Solid Waste Department.
6. Phase I is under construction.

NO.	DATE	DESCRIPTION
0	9-17-20	ORIGINAL ISSUE
1	10-7-20	ADDRESSED STAFF COMMENTS
2	11-13-20	SURVEYOR'S/ENGINEER'S REVISIONS
3		
4		
5		

**CODES OFFICIAL REVIEW**

**KEY PLAN:**

**REVISION INFORMATION**

No.	Date	Description

**DRAWING INFORMATION**

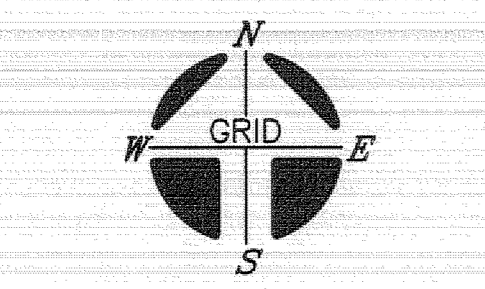
SCALE: SCALE: 1"=30'  
SCALE GUIDE:  
DWG ISSUED: 13 NOV 2020  
PRJ MGR: Margaret Butler  
PA / PC: Jake Thomas / -  
DRAWN BY: Author  
CHECKED BY: Project Checked By  
DRAWING TITLE:

DRAWING NO:  
SH\_SPI2 OF SPI6



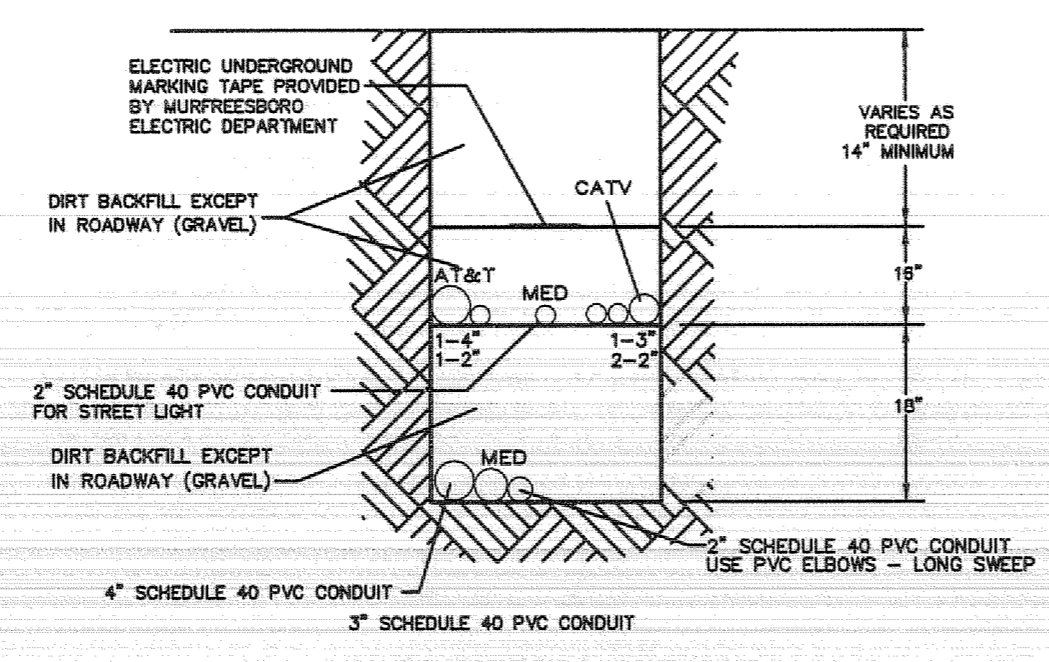
LINE	BEARING	LENGTH
L1	N02°32'14"W	38.27'

**LEGEND**  
IPS ○ IRON PIN SET (1/2" REBAR WITH STAMPED N-C-S ENGR)  
IPF ○ IRON PIN FND.  
□ CONC. MONUMENT FOUND  
--- FENCE



PHASE II - 10.07 ACRES ±

OWNER: MURFREESBORO HOUSING AUTHORITY  
ADDRESS: 415 N. MAPLE STREET  
MURFREESBORO, TN 37130  
TAX MAP: 0916, GROUP "B", PARCEL: 39.00  
DEED BOOK: 129, PAGE: 463  
MAP NUMBER: 4714900260H  
DATED: JANUARY 5, 2007 ZONE: X  
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.



**UTILITY TRENCH**  
(NOT TO SCALE)

- NOTES:**  
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2. TELEPHONE & CABLE PEDESTALS/VAULTS WILL BE INSTALLED BY THE RESPECTIVE UTILITY COMPANIES AT THE ELECTRIC VAULT LOCATIONS.

- ⊕ PROPOSED Power Pole
- ⊕ PROPOSED REGULAR SECONDARY VAULT
- ⊕ PROPOSED LARGE SECONDARY VAULT
- ⊕ PROPOSED PAD MOUNTED TRANSFORMER
- ⊕ PROPOSED 1PH PRIMARY VAULT
- ⊕ PROPOSED 3PH PRIMARY VAULT
- T — E — C — PROPOSED TRENCH

BINDING EDGE

BINDING EDGE

BINDING EDGE

550 W. MAIN STREET, SUITE 300  
KNOXVILLE, TENNESSEE 37902  
CONTACT: Margaret Butler  
mbutler@mhmnc.com  
TELEPHONE: (865) 544-2000  
FACSIMILE: (865) 544-0402  
INTERNET: mhmnc.com

**OAKLAND COURT REDEVELOPMENT**

415 N. MAPLE ST.  
MURFREESBORO, TENNESSEE 37130

ACTIVE DESIGN PHASE  
SCHEMATIC DESIGN  
DESIGN DEVELOPMENT  
RED-CHECK  
CONSTRUCTION DOCUMENTS  
CONSTRUCTION BIDDING PHASE  
CONSTRUCTION ADMINISTRATION

SEAL:

**NOTES**

- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
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CONSULTANT INFORMATION

CODES OFFICIAL REVIEW

KEY PLAN:

REVISION INFORMATION

No.	Date	Description
0	9-17-20	ORIGINAL ISSUE
1	10-7-20	ADDRESSED STAFF COMMENTS
2	11-13-20	SURVEYOR'S/ENGINEER'S REVISIONS
3		
4		
5		

DRAWING INFORMATION

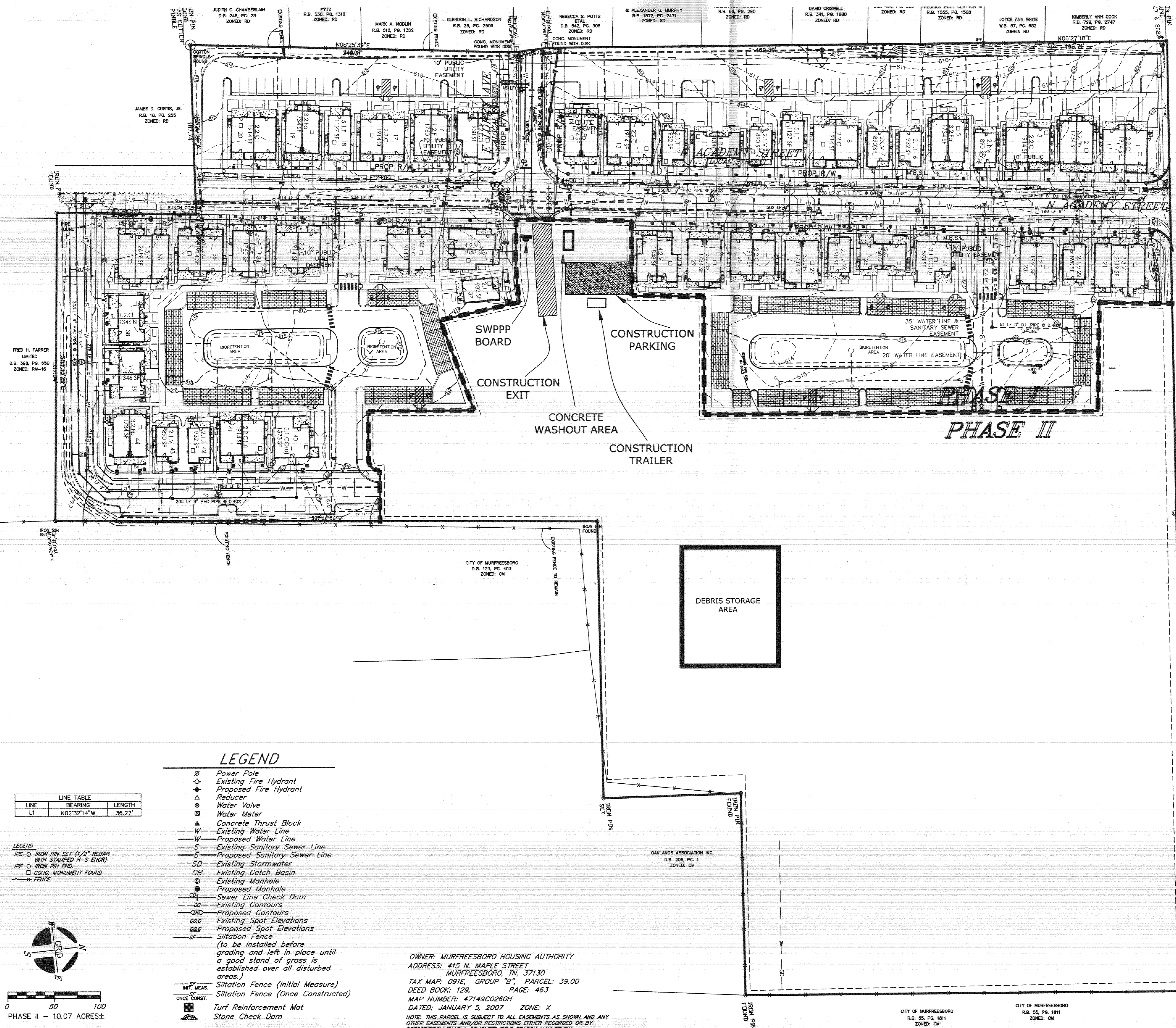
SCALE: 1"=50'  
SCALE GUIDE:  
DWG. ISSUED: 13 NOV 2020  
PRJ. MGR: Margaret Butler  
PA / PC: Jake Thomas /  
DRAWN BY: Author  
CHECKED BY: Project Checked by  
DRAWING TITLE:

DRAWING NO. SH. SP13 OF SP16



LOCATION MAP

N.T.S.

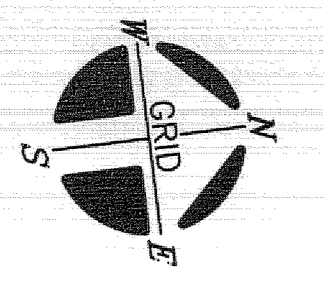


**LEGEND**

- ⊗ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Water Valve
- ⊕ Water Meter
- ▲ Concrete Thrust Block
- W— Existing Water Line
- W— Proposed Water Line
- S— Existing Sanitary Sewer Line
- S— Proposed Sanitary Sewer Line
- SD— Existing Stormwater
- CB Existing Catch Basin
- ⊕ Existing Manhole
- ⊕ Proposed Manhole
- CD Sewer Line Check Dam
- C— Existing Contours
- C— Proposed Contours
- 00.0 Existing Spot Elevations
- 00.0 Proposed Spot Elevations
- SF— Siltation Fence (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- SF— Siltation Fence (Initial Measure)
- SF— Siltation Fence (Once Constructed)
- Turf Reinforcement Mat
- SCD— Stone Check Dam

LINE	BEARING	LENGTH
L1	N02°32'14"W	38.27

LEGEND  
IP S O IRON PIN SET (1/2" REBAR WITH STAMPED #3 ENDS)  
IP F O IRON PIN FND.  
□ CONC. MONUMENT FOUND  
— FENCE



0 50 100  
PHASE II - 10.07 ACRES±

OWNER: MURFREESBORO HOUSING AUTHORITY  
ADDRESS: 415 N. MAPLE STREET  
MURFREESBORO, TN, 37130  
TAX MAP: 0915, GROUP "B", PARCEL: 39.00  
DEED BOOK: 129, PAGE: 483  
MAP NUMBER: 47149C02804  
DATED: JANUARY 3, 2007 ZONE: X  
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

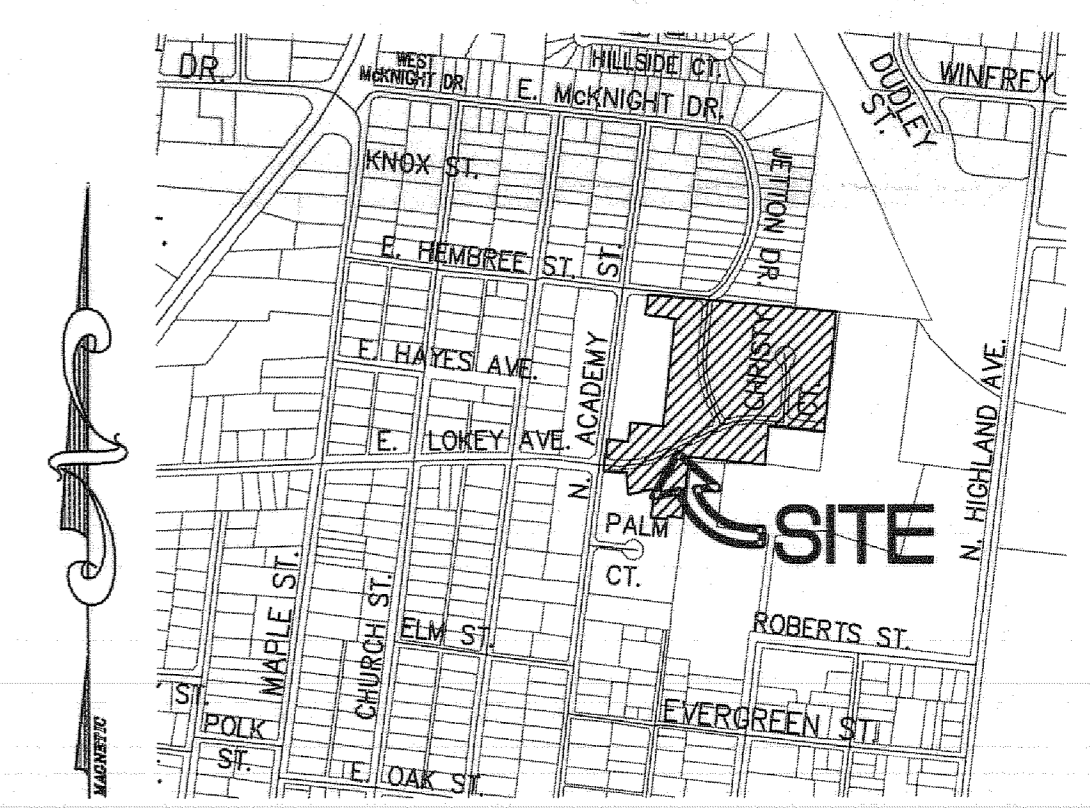
BINDING EDGE

BINDING EDGE

BINDING EDGE

**HS HUDDLESTON-STEEL ENGINEERING INC.**  
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
SURVEYING : 893 - 4084, FAX: 893 - 0080

**CONSTRUCTION FACILITIES PLAN**  
**OAKLAND COURT**  
**PHASE II SITE PLAN**  
20th CIVIL DISTRICT - RUTHERFORD COUNTY - TN.



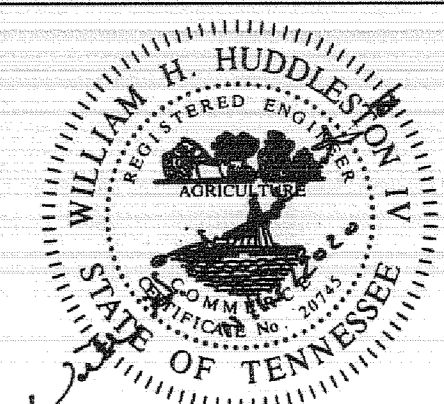
LOCATION MAP  
N.T.S.

- NOTES
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  - This property may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
  - Phase I is under construction.

OPEN SPACE  
TOTAL SITE AREA: 20.08±ACRES  
TOTAL OPEN SPACE REQUIRED 20%: 20.08±\*0.20=4.016 ACRES  
OPEN SPACE PROVIDED: 175,750 SQ FT

FORMAL OPEN SPACE  
TOTAL SITE AREA: 20.08±ACRES  
FORMAL OPEN SPACE REQUIRED 5%: 20.08±\*0.05=1.004 ACRES  
FORMAL OPEN SPACE PROVIDED: 88,972 SQ FT

NO.	DATE	DESCRIPTION
0	9-17-20	ORIGINAL ISSUE
1	10-7-20	ADDRESSED STAFF COMMENTS
2	11-13-20	SURVEYOR'S/ENGINEER'S REVISIONS
3		
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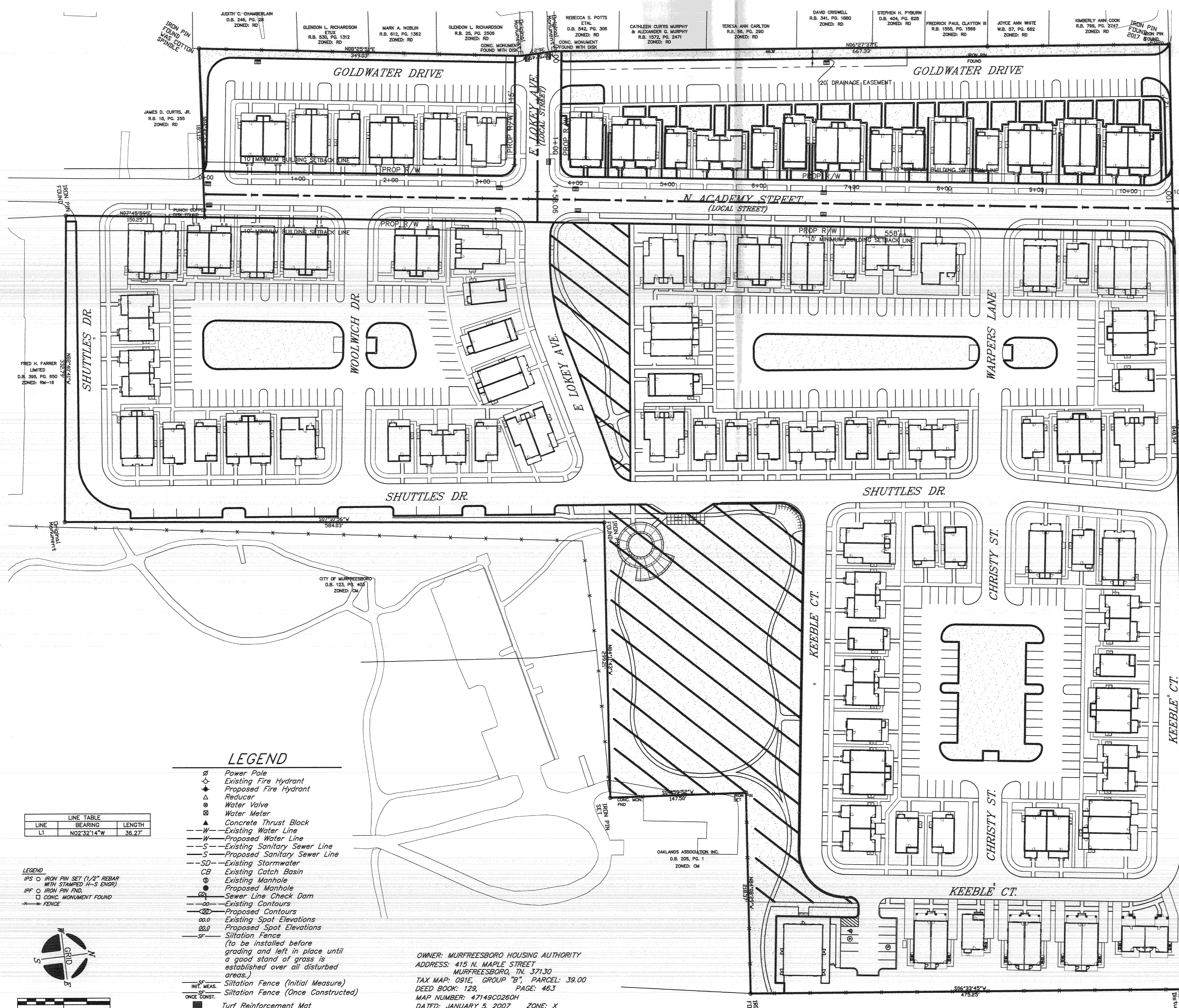


**HS HUDDLESTON-STEEL**  
ENGINEERING INC.  
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
SURVEYING : 893 - 4084, FAX: 893 - 0080

**OPEN SPACE PLAN  
OAKLAND COURT  
PHASE II SITE PLAN**  
20th CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

DRAWING INFORMATION  
SCALE: 1"=50'  
SCALE GUIDE:  
DWG ISSUED: 13 NOV 2020  
PRI MGR: Margaret Butler  
PLOTTER: Jake Thomas / Author  
CHECKED BY: Project/Checked By  
DRAWING TITLE:

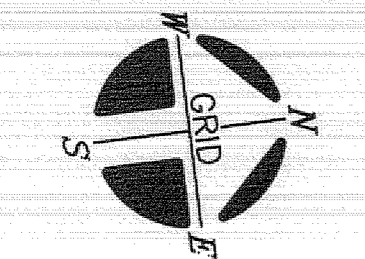
DRAWING NO:  
SH SP14 OF SP16



- LEGEND**
- Power Pole
  - Existing Fire Hydrant
  - Proposed Fire Hydrant
  - Reducer
  - Water Valve
  - Water Meter
  - Concrete Thrust Block
  - Existing Water Line
  - Proposed Water Line
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  - Proposed Sanitary Sewer Line
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  - Existing Manhole
  - Proposed Manhole
  - Sewer Line Check Dam
  - Existing Contours
  - Proposed Contours
  - Existing Spot Elevations
  - Proposed Spot Elevations
  - Siltation Fence  
(to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
  - Siltation Fence (Initial Measure)
  - Siltation Fence (Once Constructed)
  - Turf Reinforcement Mat
  - Stone Check Dam

LINE	BEARING	LENGTH
L1	N02°32'14"W	35.27

LEGEND  
IPS O IRON PIN SET (1/2" REBAR WITH STAMPED I-S ENDR)  
IPF O IRON PIN FIND  
□ CONC. MONUMENT FOUND  
--- FENCE



0 50 100  
PHASE I - 11.01 ACRES±  
PHASE II - 10.07 ACRES±

OWNER: MURFREESBORO HOUSING AUTHORITY  
ADDRESS: 415 N. MAPLE STREET  
MURFREESBORO, TN 37130  
TAX MAP: 091E, GROUP "B", PARCEL: 39.00  
DEED BOOK: 129, PAGE: 463  
MAP NUMBER: 47149C0280H  
DATED: JANUARY 5, 2007 ZONE: X  
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

BINDING EDGE

BINDING EDGE

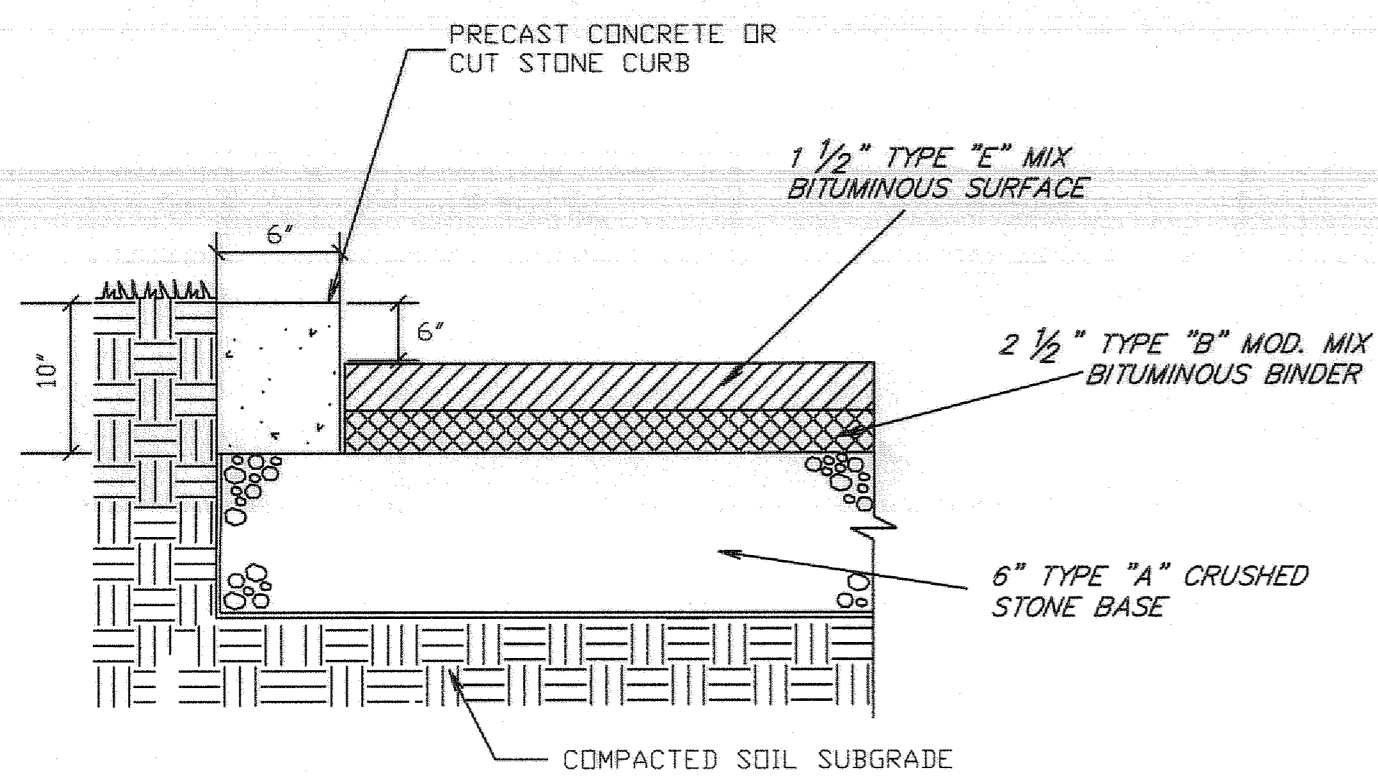
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BINDING EDGE

BINDING EDGE

BINDING EDGE

CONCRETE CURB TYPE "B"

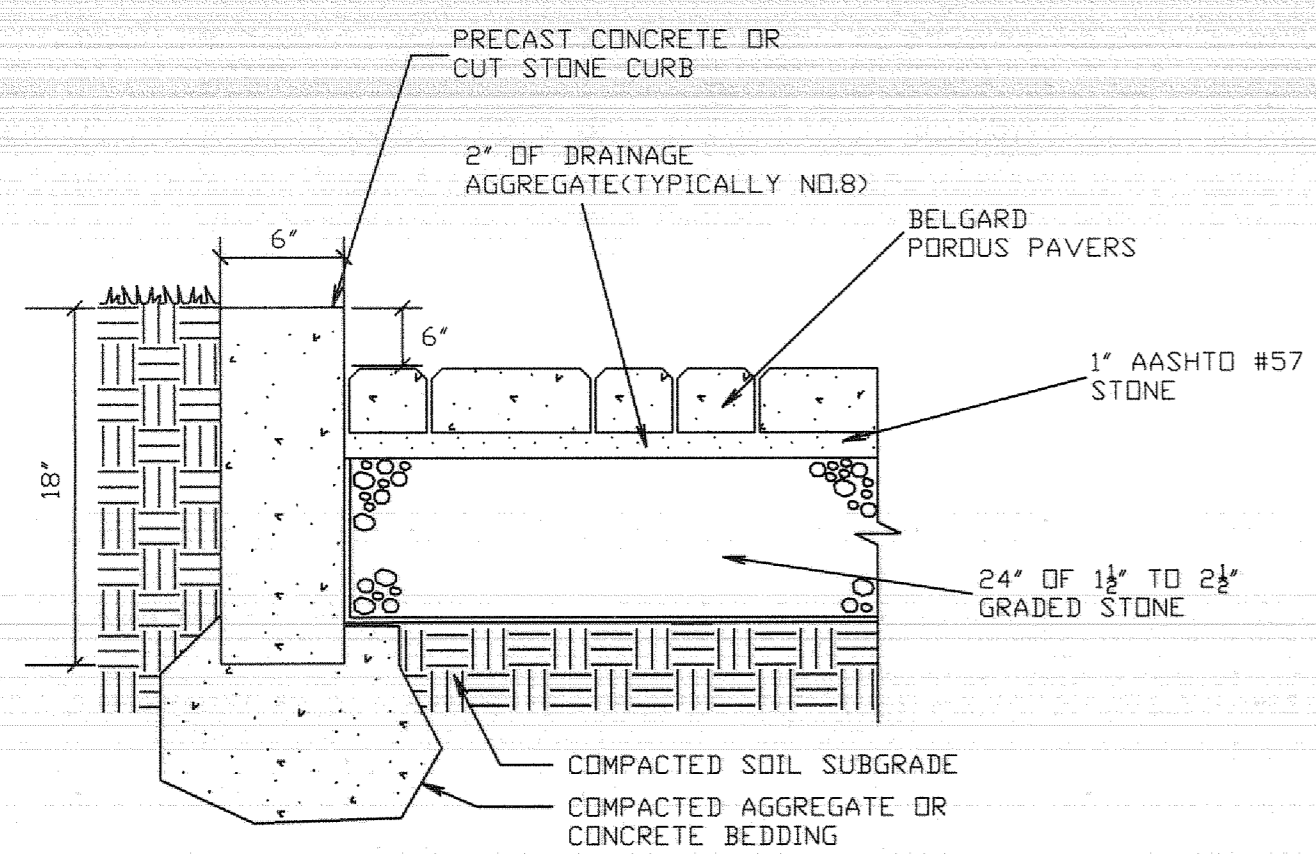


NOTE: 1. THICKNESS OF AGGREGATE BASE WILL VARY WITH SUBGRADE CONDITIONS AND CLIMATE. COLDER CLIMATES MAY REQUIRE THICKER BASES.

CONCRETE CURB WITHOUT PERVIOUS PAVERS N.T.S.

S19

CONCRETE POST CURB

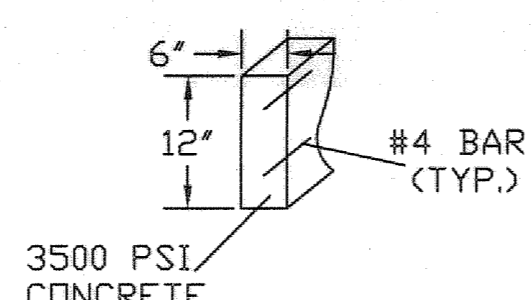


NOTE: 1. THICKNESS OF AGGREGATE BASE WILL VARY WITH SUBGRADE CONDITIONS AND CLIMATE. COLDER CLIMATES MAY REQUIRE THICKER BASES.

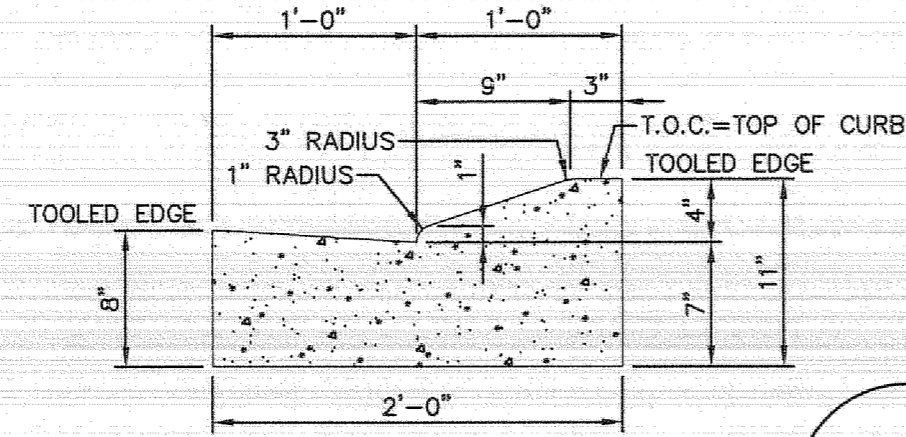
CONCRETE CURB WITH PERVIOUS PAVERS N.T.S.

S18

RIBBON CURB DETAIL (N.T.S.)



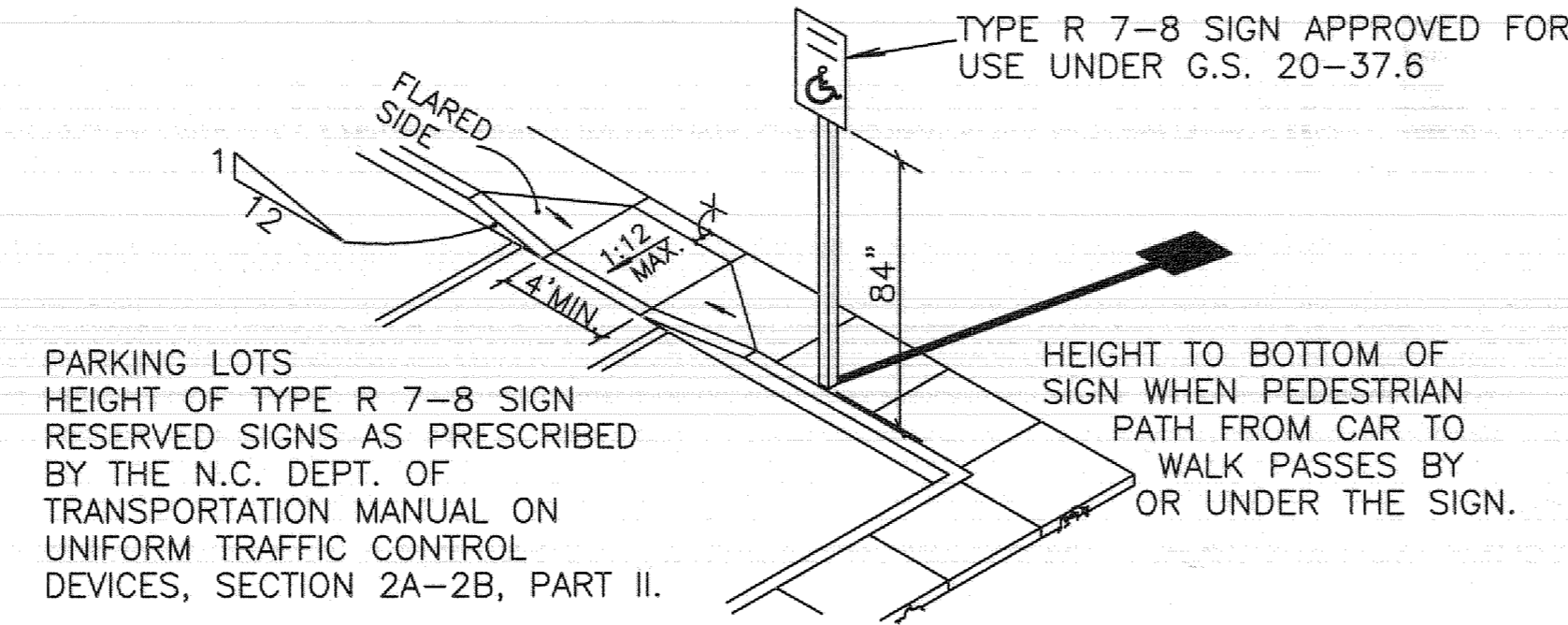
S3



ROLLOVER CURB WITH GUTTER N.T.S.

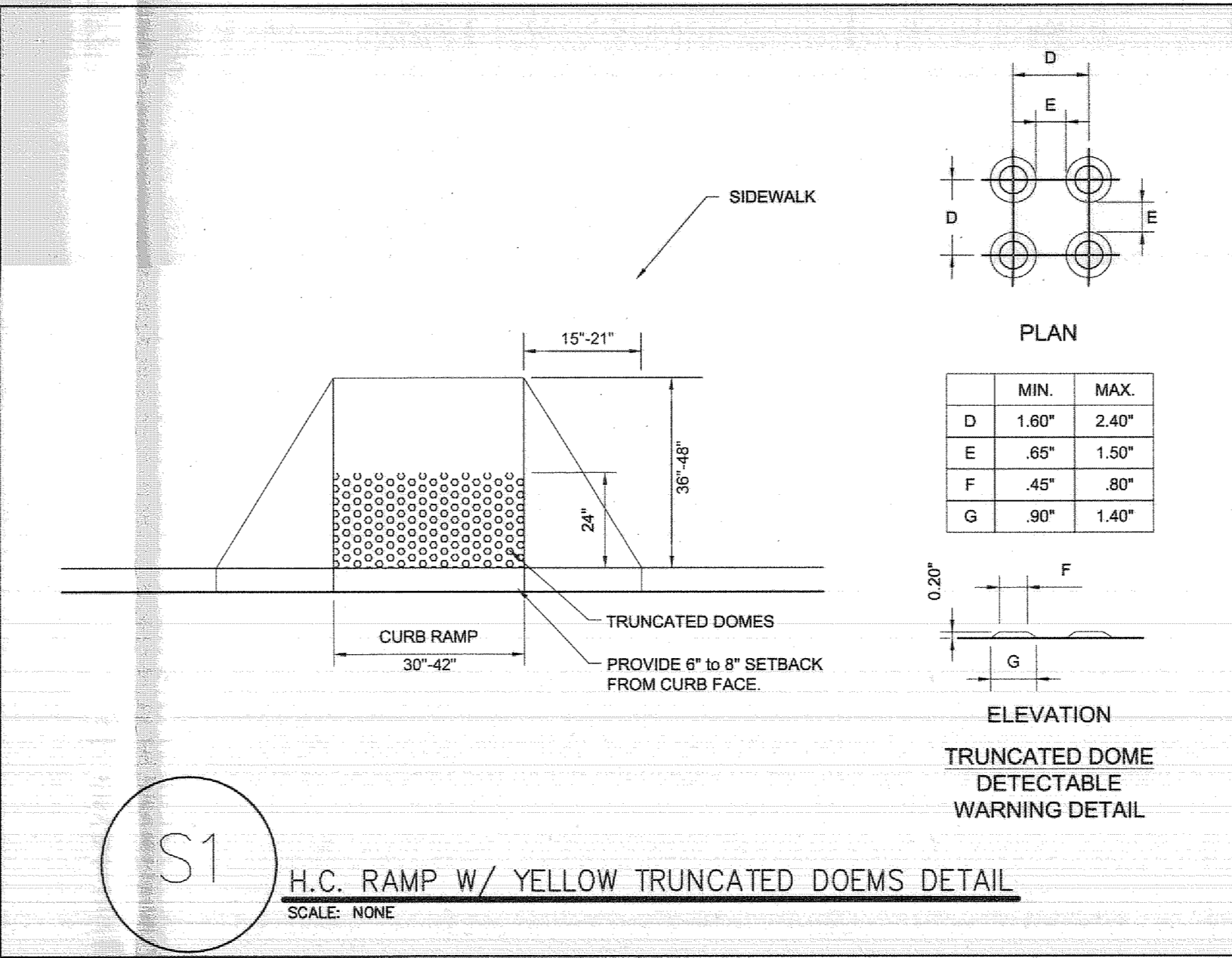
S4

IF "X" IS LESS THAN 48", THEN THE SLOPE OF THE FLARED SIDE SHALL NOT EXCEED 1:12



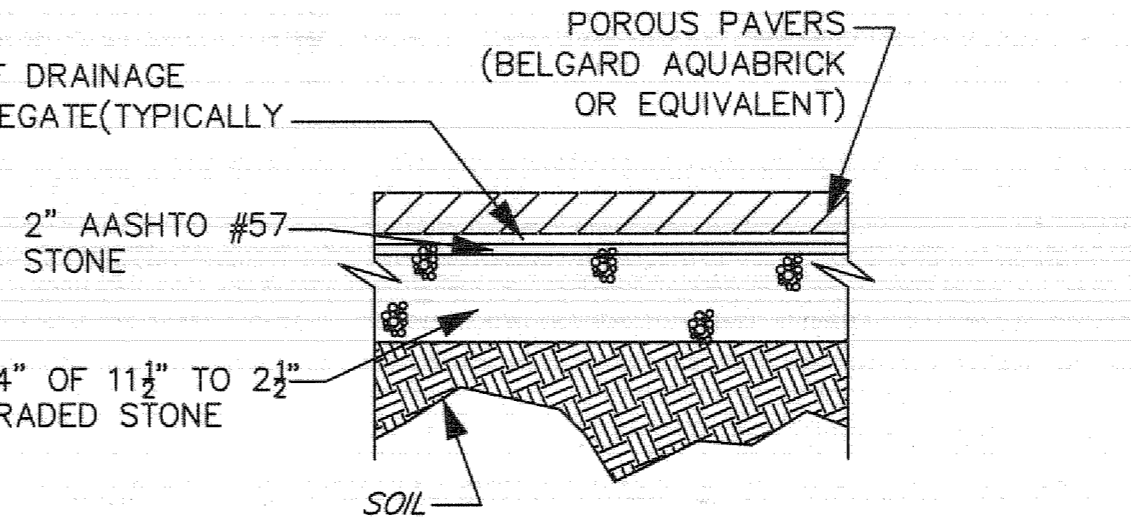
H.C. SIGN AND RAMP DETAILS N.T.S.

S5



S1

H.C. RAMP W/ YELLOW TRUNCATED DOEMS DETAIL SCALE: NONE



POROUS PAVERS DETAIL N.T.S.

NOTE: POROUS PAVER PATTERN TO BE APPROVED BY OWNER PRIOR TO CONSTRUCTION

S7

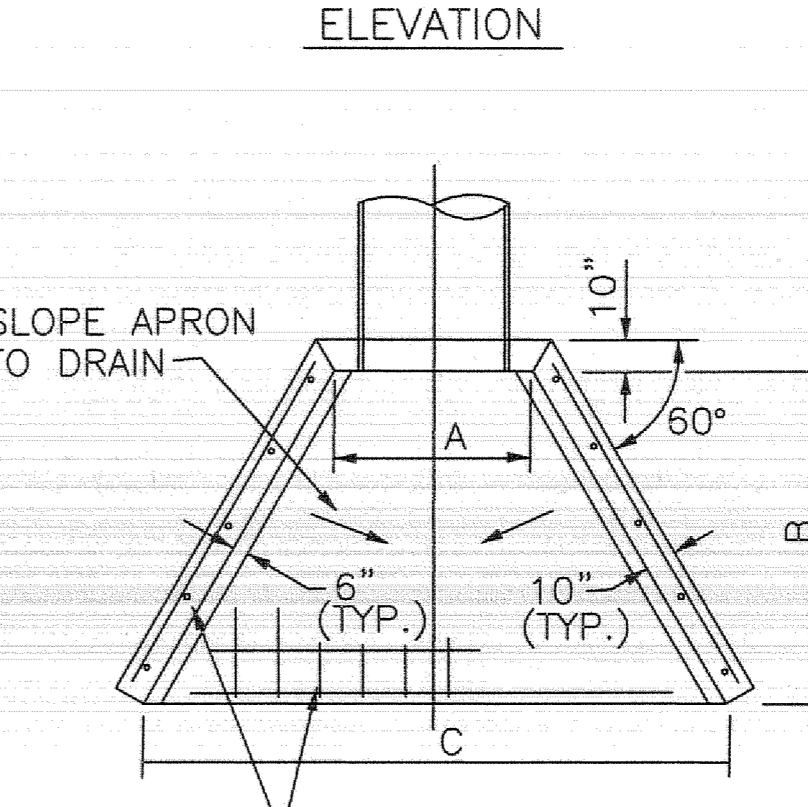
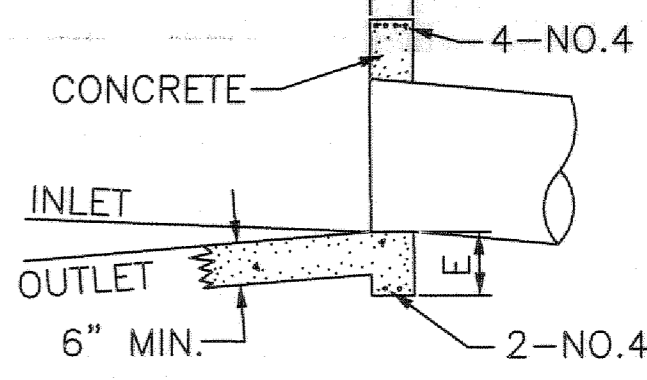
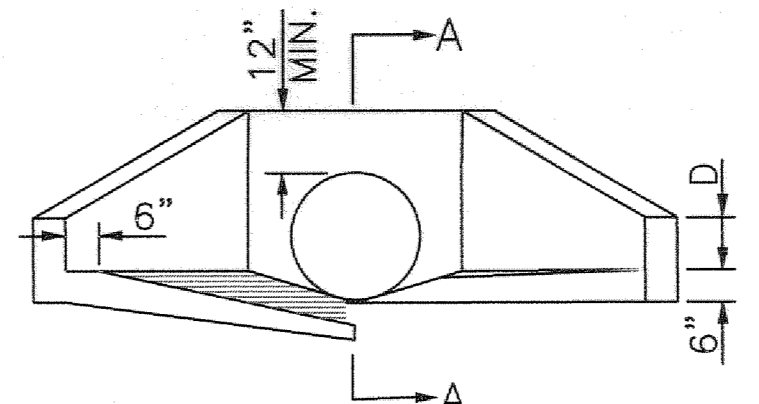


TABLE OF DIMENSIONS

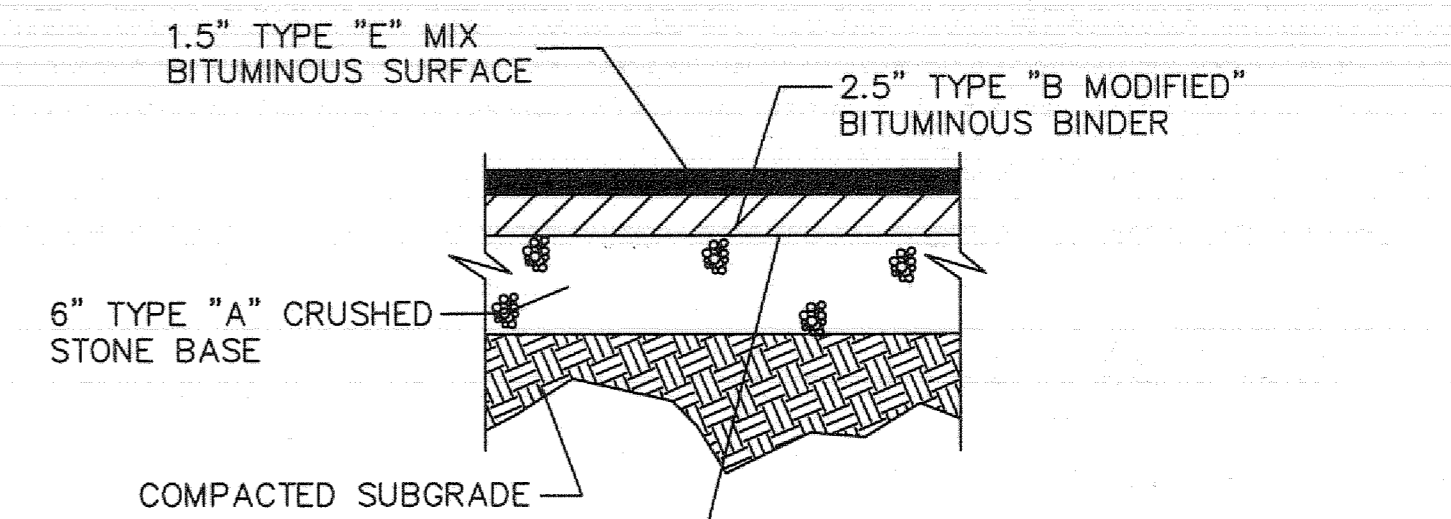
DIA.	A	B	C	D	E
12"	20"	30"	60"	6"	8"
15"	23"	36"	72"	6"	8"
18"	28"	42"	84"	9"	8"
24"	34"	48"	96"	9"	8"
30"	40"	54"	108"	12"	10"
36"	48"	60"	120"	15"	10"
42"	54"	66"	132"	18"	10"
48"	60"	72"	144"	21"	12"
54"	66"	78"	156"	24"	12"
60"	72"	84"	168"	24"	12"

ALL EDGES OF EXPOSED CONCRETE TO BE CHAMFERED ONE INCH.

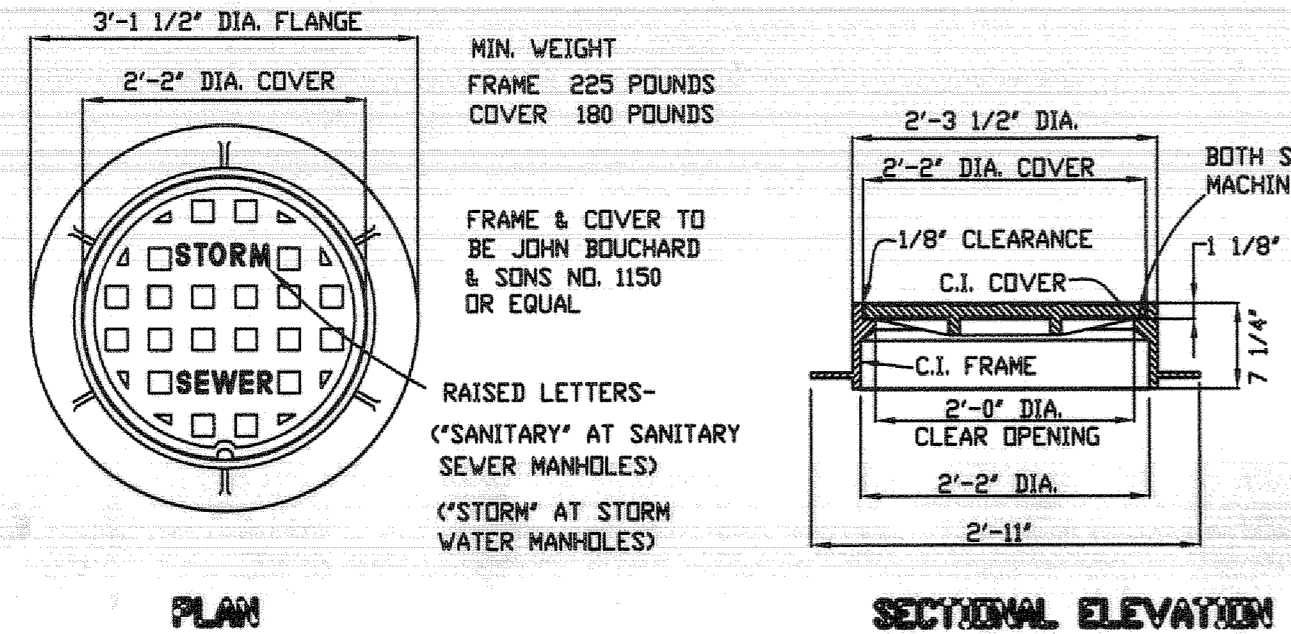
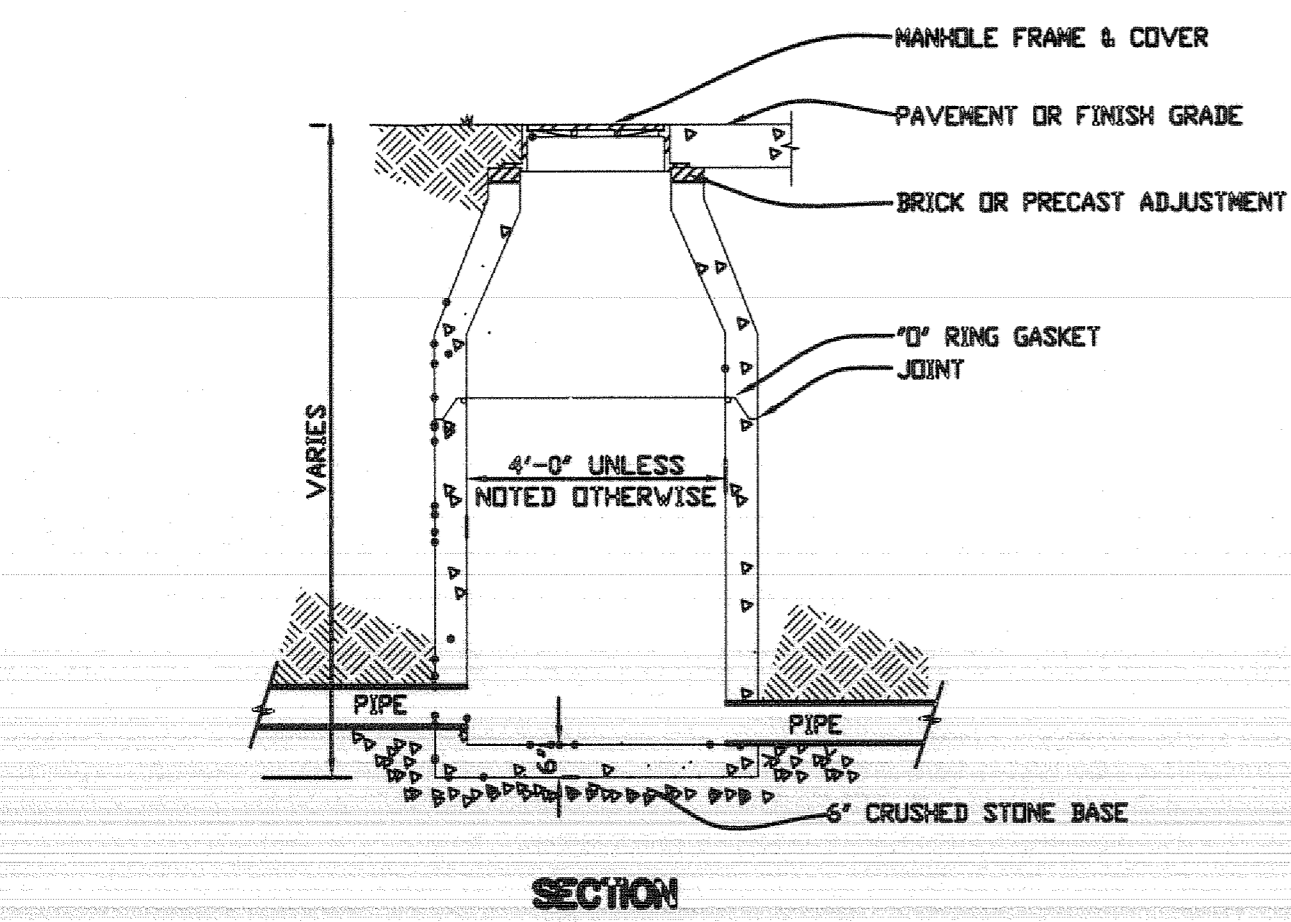
CONCRETE HEADWALL DETAIL

SCALE: NOT TO SCALE

S10



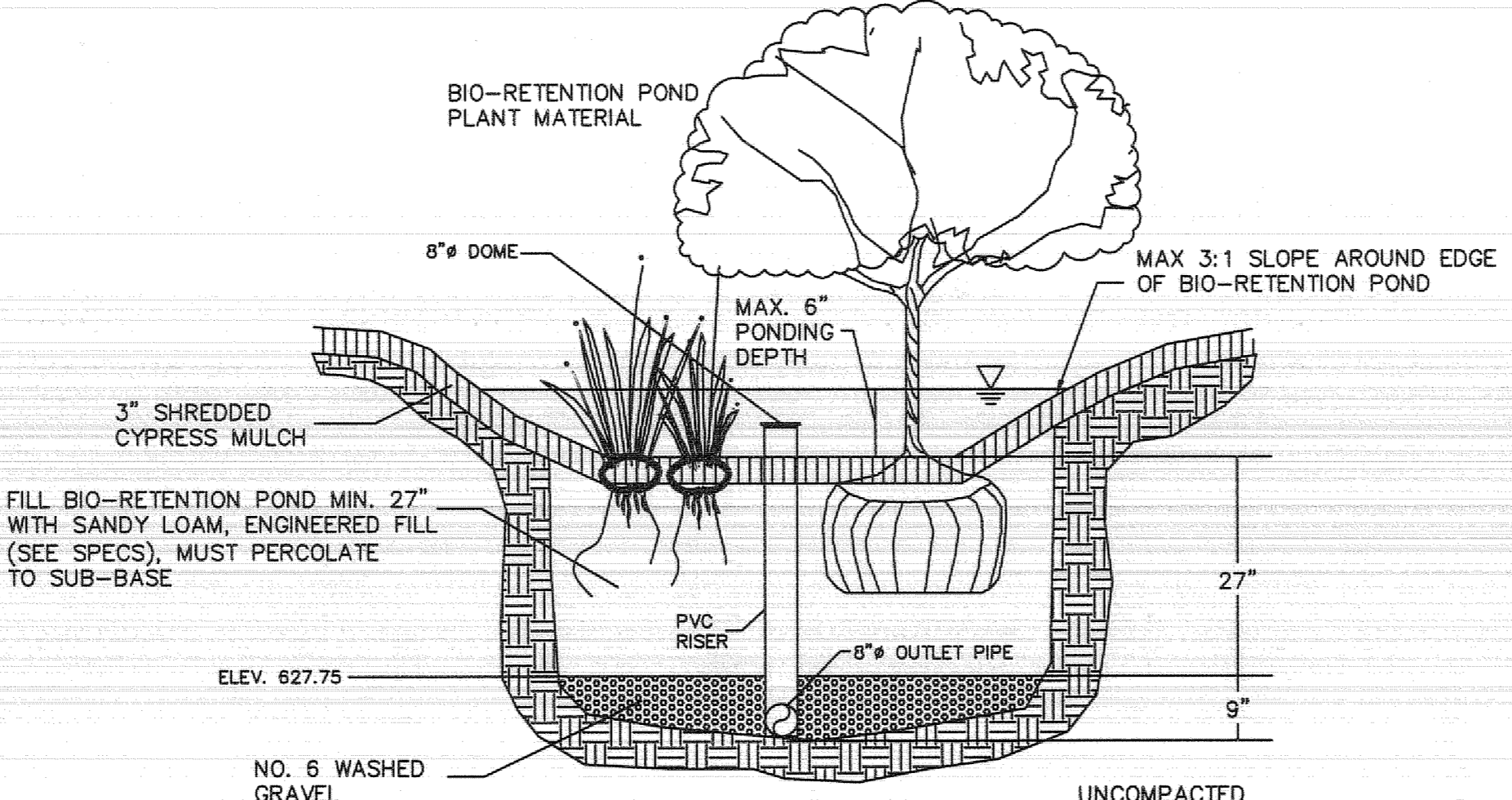
S8



STORM DRAIN MANHOLE (SDMH) DETAIL

SCALE: NOT TO SCALE

S17

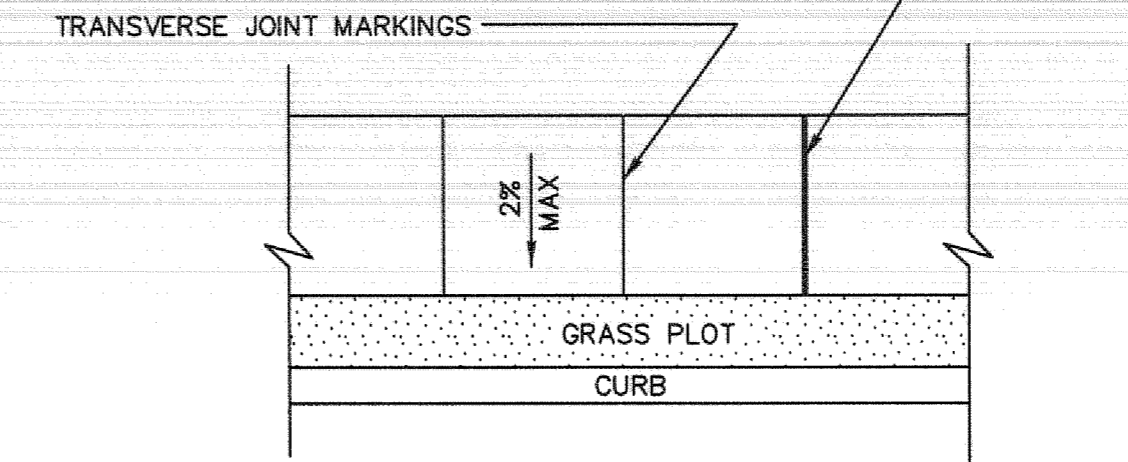


BIO-RETENTION AREAS DETAIL

SCALE: NONE

S6

EXPANSION JOINTS ARE TO BE PLACED 25 TO 30 FEET APART DEPENDING ON TRANSVERSE JOINT MARKINGS. SIDEWALKS SHALL BE 4" MIN. THICKNESS. TRANSVERSE JOINT MARKINGS ARE TO BE MADE TO FORM BLOCKS AS NEARLY TO SQUARE AS PRACTICAL. HANDICAP RAMPS TO CONFORM TO TDOT STD. RP-H-SERIES FOR ADDITIONAL SIDEWALK DETAILS SEE TDOT STD. RP-S-7

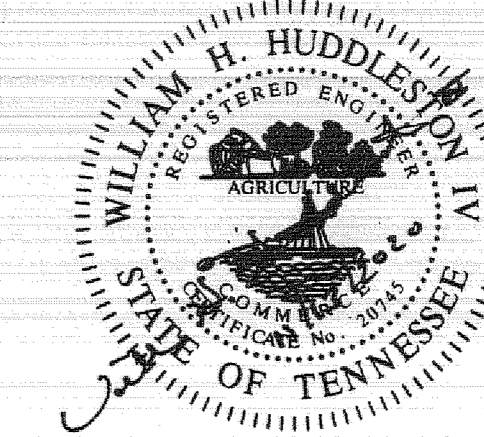


CONCRETE SIDEWALK DETAIL (NOT TO SCALE)

S9

REVISION INFORMATION

NO.	DATE	DESCRIPTION
0	9-17-20	ORIGINAL ISSUE
1	11-13-20	SURVEYOR'S/ENGINEER'S REVISIONS
2		
3		
4		
5		



H. HUDDLESTON-STEELE ENGINEERING INC. 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129 SURVEYING : 893 - 4084, FAX: 893 - 0080

DETAILS

OAKLAND COURT PHASE II SITE PLAN

20th CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

MCCARTY HOLSAPLE MCCARTY  
MHM ARCHITECTS & INTERIOR DESIGNERS

19035

550 W. MAIN STREET, SUITE 300 KNOXVILLE, TENNESSEE 37902  
CONTACT: Margaret Butler  
EMAIL: mbutler@mhmc.com  
TELEPHONE: (865) 544-2000  
FACSIMILE: (865) 544-0402  
INTERNET: mhmc.com

PROJECT INFORMATION

CONTRACT: 58C-0000000000000

OAKLAND COURT REDEVELOPMENT

415 N. MAPLE ST. MURFREESBORO, TENNESSEE 37130

ACTIVE DESIGN PHASE

- SCHEMATIC DESIGN
- DESIGN DEVELOPMENT
- RED-CHECK
- CONSTRUCTION DOCUMENTS
- CONSTRUCTION BIDDING PHASE
- CONSTRUCTION ADMINISTRATION

SCALE:

MCCARTY HOLSAPLE MCCARTY, P.C.  
S: NOT SHOWN, VERIFY CAREFULLY WITH ARCHITECT. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF SITE.

CONSULTANT INFORMATION

CODES OFFICIAL REVIEW

KEY PLAN

REVISION INFORMATION

No. Date Description

DRAWING INFORMATION

SCALE: N.T.S.  
SCALE GUIDE:  
DWG. ISSUED: 13 NOV 2020  
PRJ. MGR: Margaret Butler  
PA / PC: Jake Thomas / -  
DRAWN BY: Author  
CHECKED BY: Project Checked By  
DRAWING TITLE:

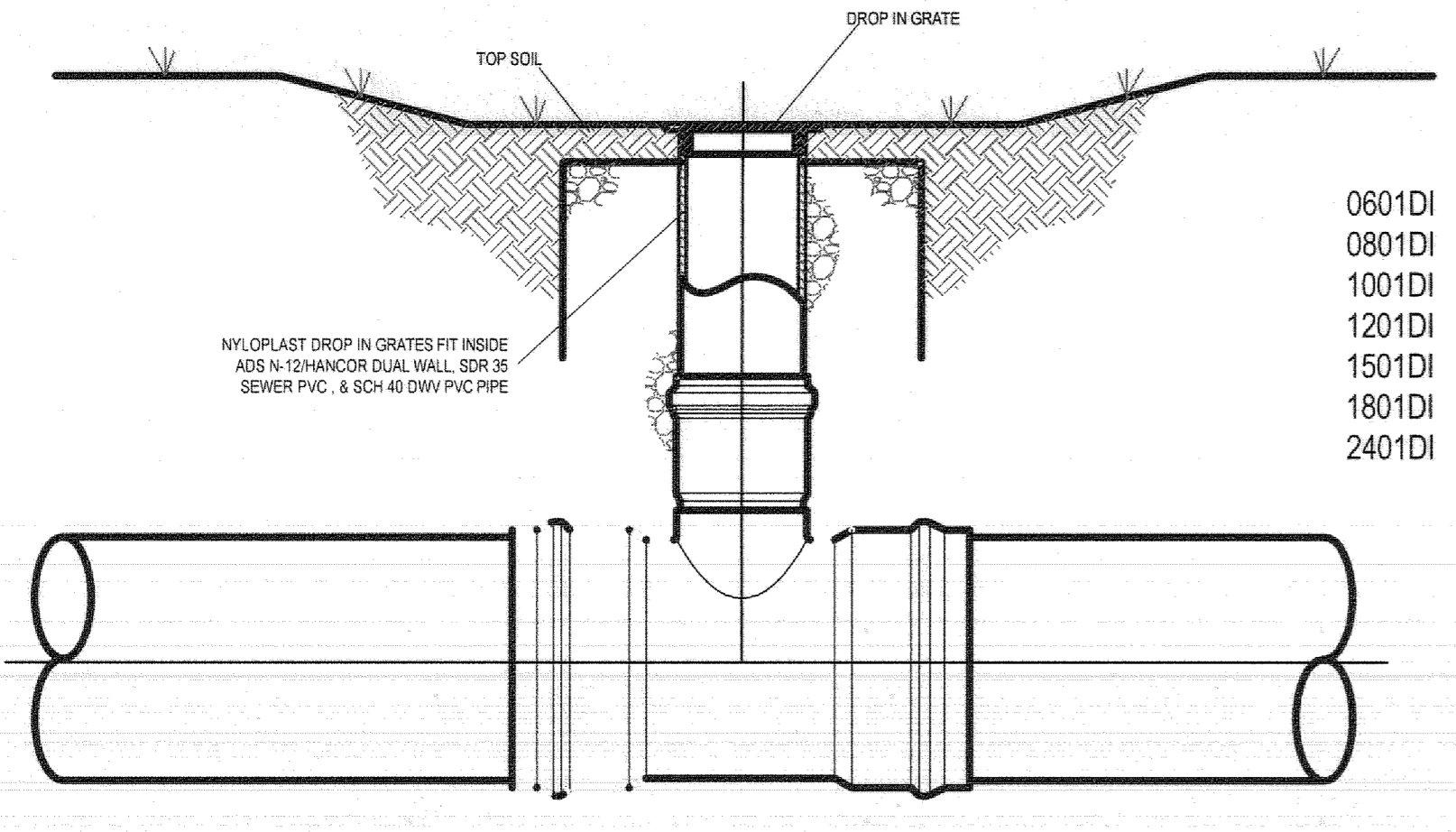
DRAWING NO. SH. SP15 OF SP16

TIME / DATE: 1/28/2020 11:49:59 AM

BINDING EDGE

BINDING EDGE

BINDING EDGE

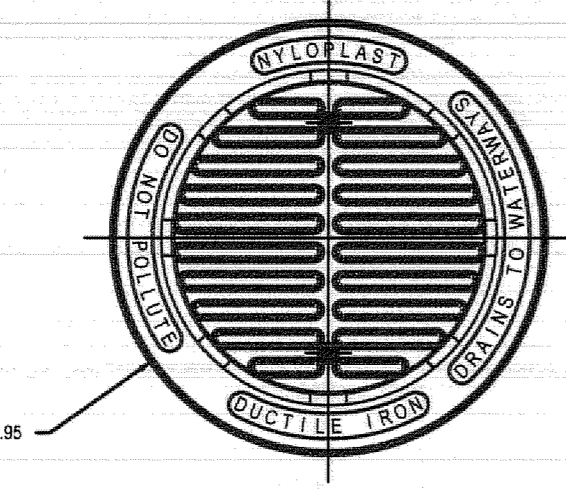


0801DI  
0801DI  
1001DI  
1201DI  
1501DI  
1801DI  
2401DI

S11

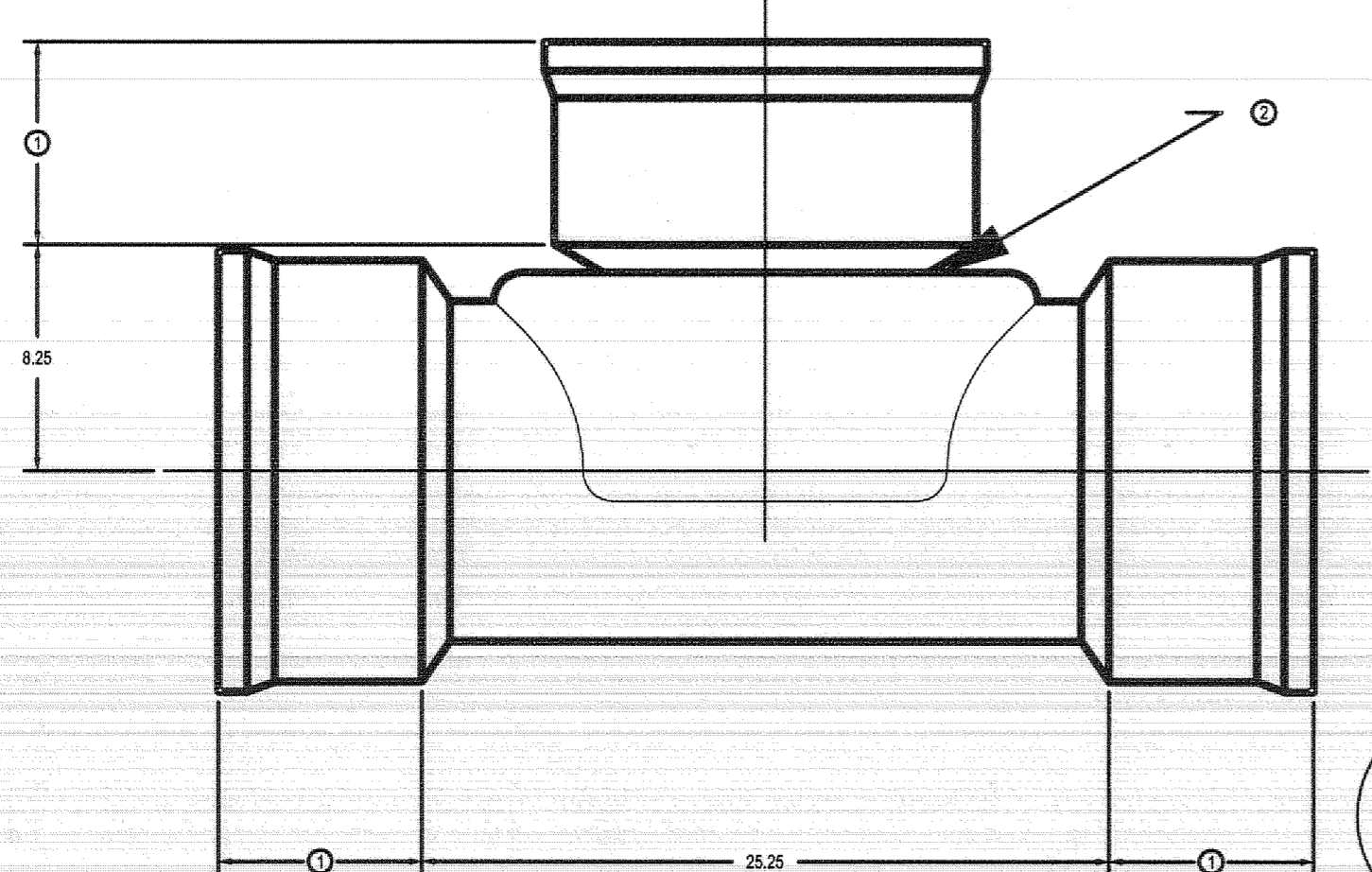
THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONSTITUTE A LICENSE OR AUTHORITY TO REPRODUCE OR TRANSMIT IN ANY MANNER OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF NYLOPLAST.	DATE: 5-4-08	PROJECT NO. NAME: 8 IN. 24 IN DROP IN GRATE INSTALLATION	3128 VERONA AVE BIRMINGHAM, GA 30018 PH: (770) 932-3440 FAX: (770) 932-3449 WWW.NYLOPLAST.COM
DATE: 2-8-10	PROJECT NO. NAME: 8 IN. 24 IN DROP IN GRATE INSTALLATION	TITLE: 8 IN. 24 IN DROP IN GRATE INSTALLATION	DATE: 2-8-10
DWG SIZE: A	SCALE: 1/8"	SHEET: 1 OF 1	DWG NO.: 700-110-877

1201DI  
APPROX. DRAIN AREA = 39.75 SQ. FT.  
APPROX. WEIGHT = 13 LBS



DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY. GRADE: 1/2\"/>

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DATE: 4-15-11	PROJECT NO. NAME: 12 IN DRAIN	TITLE: 12 IN DRAIN	DATE: 4-15-11
DWG SIZE: A	SCALE: 1/8"	SHEET: 1 OF 1	DWG NO.: 700-110-871

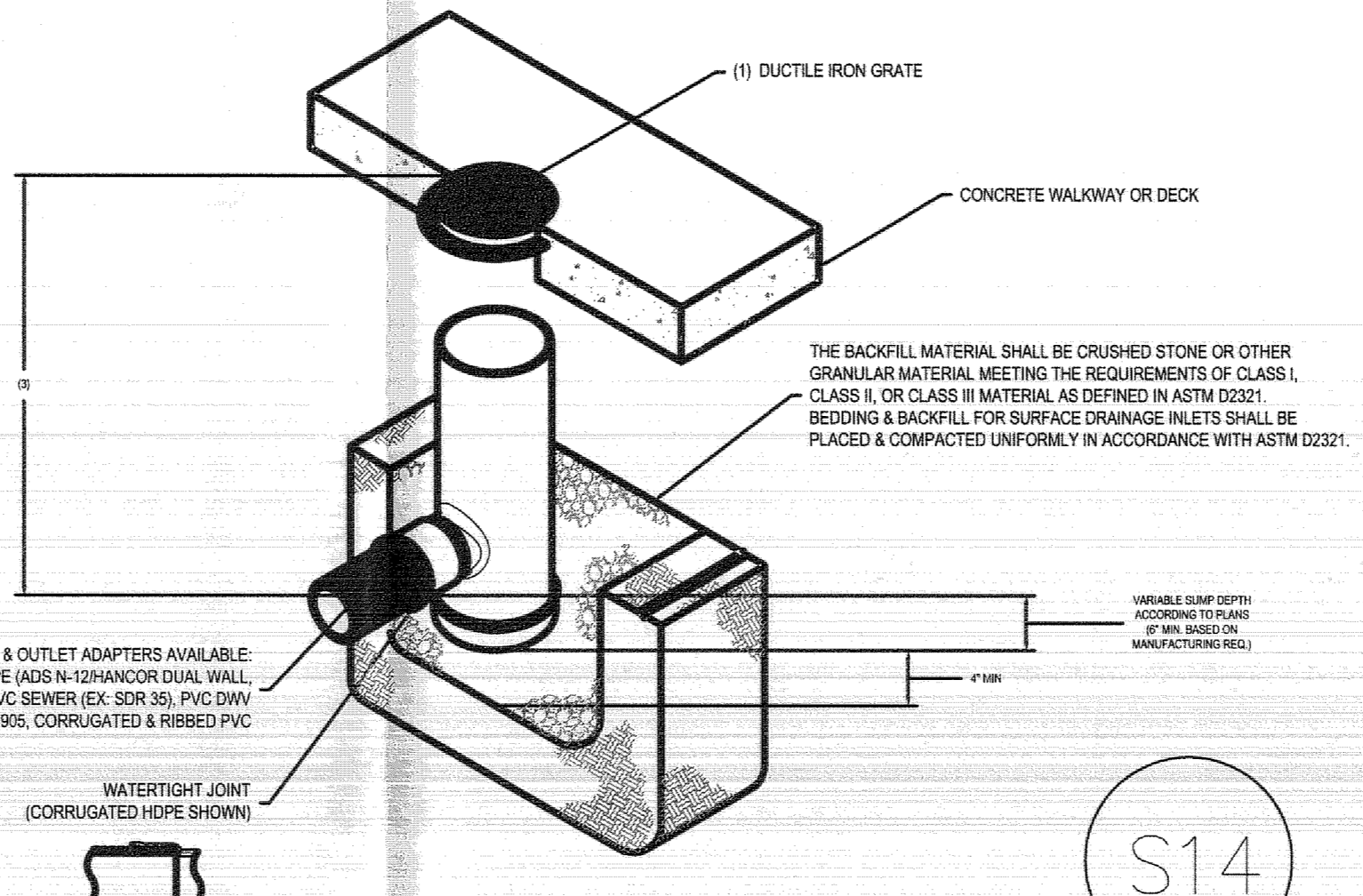


S13

1. SEE DRAWING NO. 700-110-384 FOR ADSH/AN/COR. 2. SEE DRAWING NO. 700-110-381 FOR WATER TIGHT SWAGE JOINT DETAIL. 3. DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY. 4. DIMENSIONS ARE IN INCHES.

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DATE: 4-4-08	PROJECT NO. NAME: 12 X 12 ADSH/AN/COR 14-12 TEE	TITLE: 12 X 12 ADSH/AN/COR 14-12 TEE	DATE: 4-4-08
DWG SIZE: A	SCALE: 1/8"	SHEET: 1 OF 1	DWG NO.: 700-110-871

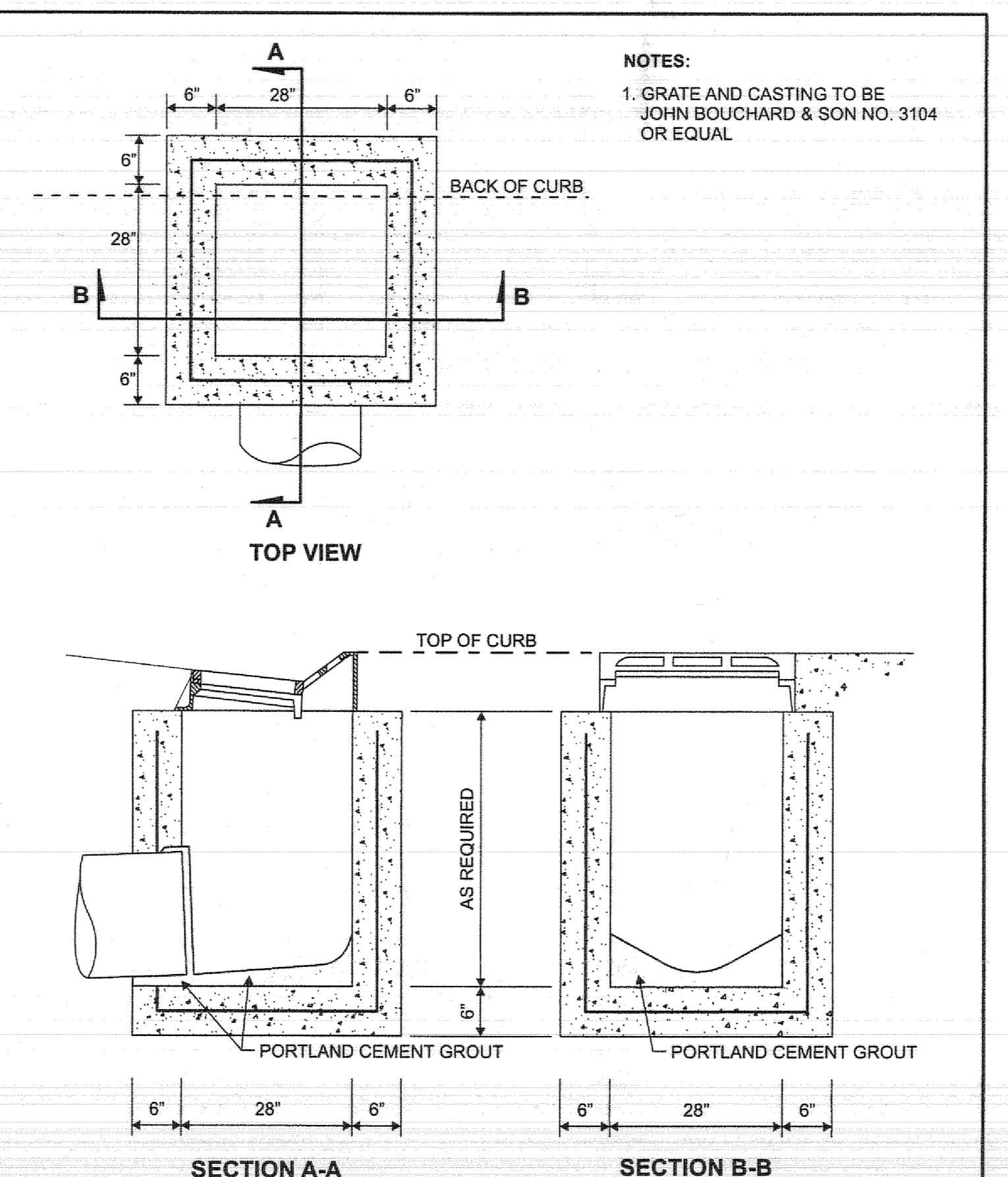
NYLOPLAST 8" DRAIN BASIN: 2808AG \_ \_ X



S14

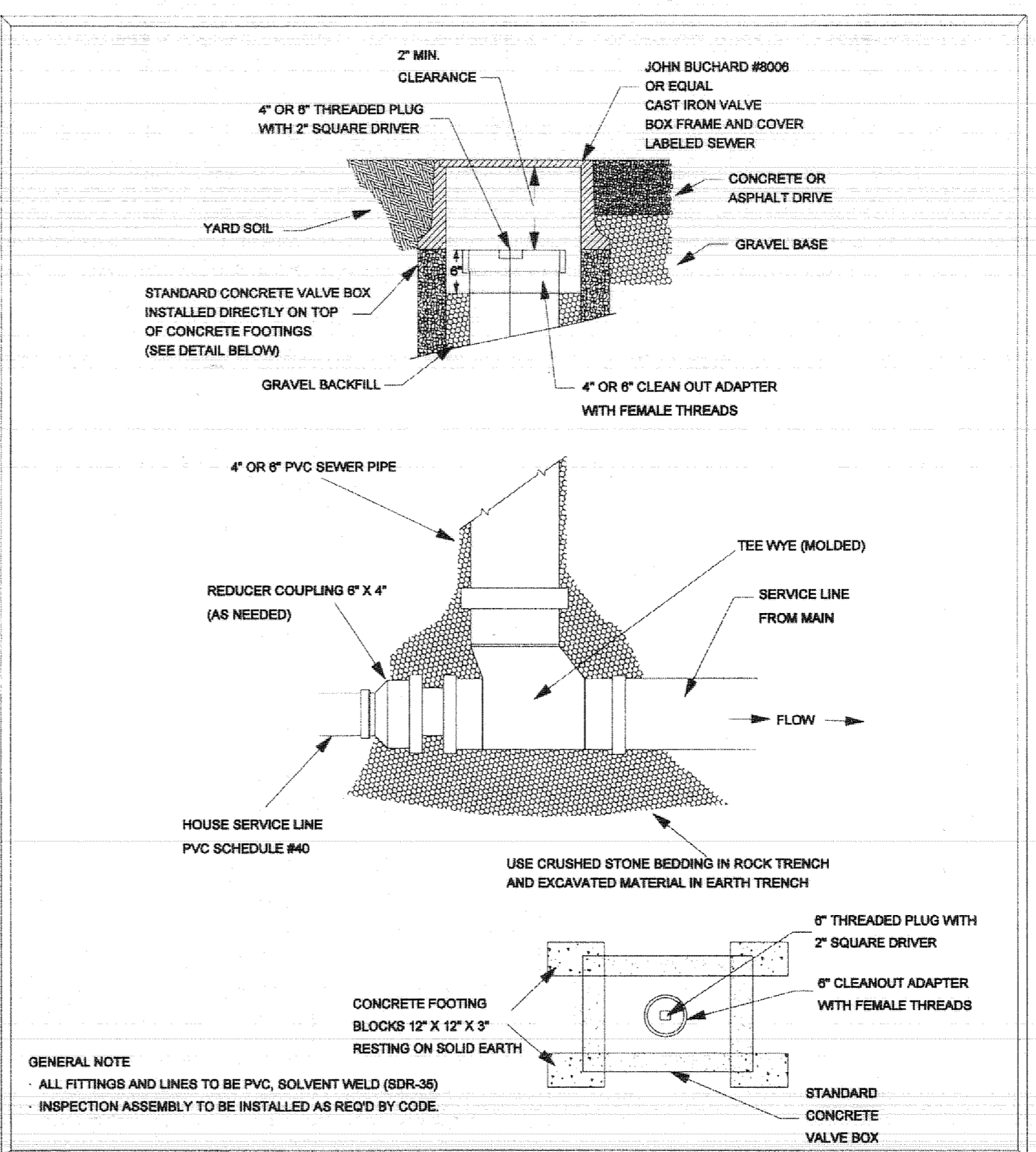
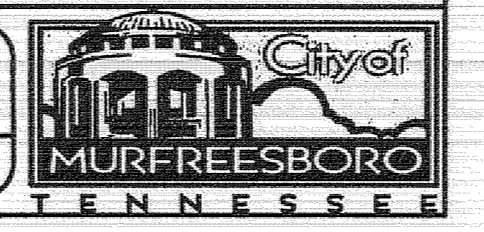
- GRASS/STREET COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 65-55, WITH THE EXCEPTION OF THE BRINDING GRATE.
- CUSTOM DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAIL. FINISHES ARE NEEDED FOR FINISH OVER 6\"/>

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DATE: 6-25-10	PROJECT NO. NAME: 8 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL	TITLE: 8 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL	DATE: 6-25-10
DWG SIZE: A	SCALE: 1/2"	SHEET: 1 OF 1	DWG NO.: 700-110-272



S15

CONC. SINGLE INLET DETAIL FOR ROLLOVER CURB AND GUTTER  
DR-6 July 2009



APRIL 24, 2006  
DRAWN BY: KAC  
APPROVED BY: GH

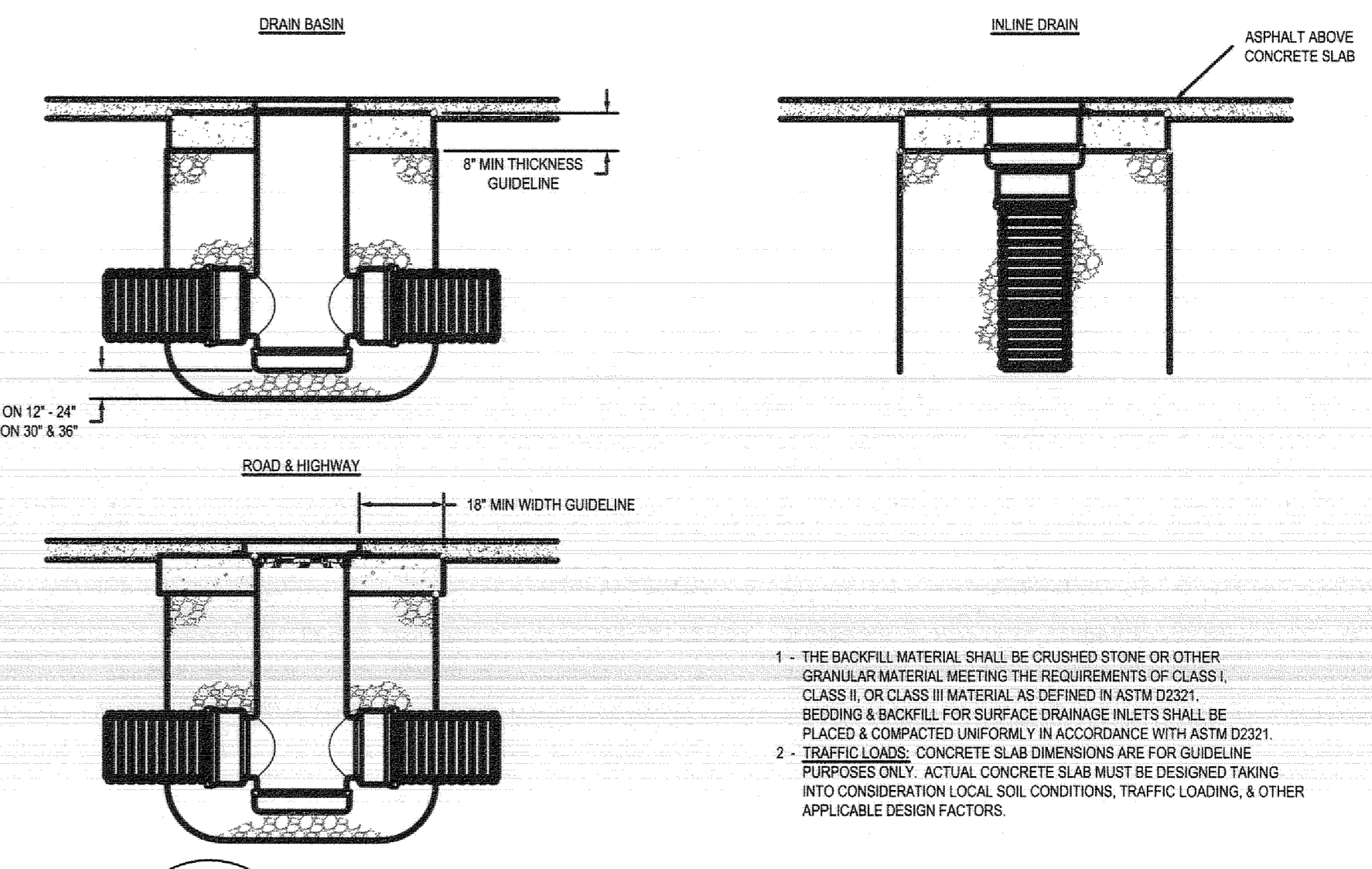
DRAWING NOT TO SCALE

EXTERIOR SEWER SERVICE CLEANOUT DETAIL

STANDARD DRAWING NO. P-3

MURFREESBORO WATER & SEWER DEPARTMENT

ASPHALT INSTALLATION

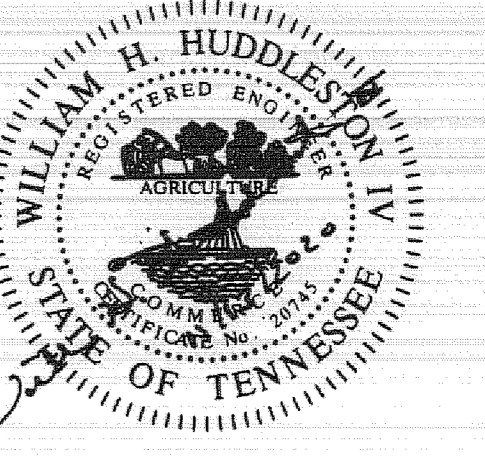


S16

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DATE: 06-13-10	PROJECT NO. NAME: 8 IN DRAIN BASIN INLET DRAIN & ROAD & HIGHWAY (SEE TRAFFIC LOADS) ASPHALT INSTALLATION DETAIL	TITLE: 8 IN DRAIN BASIN INLET DRAIN & ROAD & HIGHWAY (SEE TRAFFIC LOADS) ASPHALT INSTALLATION DETAIL	DATE: 06-13-10
DWG SIZE: A	SCALE: 1/32"	SHEET: 1 OF 1	DWG NO.: 700-110-186

- THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2021. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2021.
- TRAFFIC LOADS, CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS.

NO.	DATE	DESCRIPTION
0	9-17-20	ORIGINAL ISSUE
1	11-13-20	SURVEYOR'S/ENGINEER'S REVISIONS
2		
3		
4		
5		



**HS HUDDLESTON-STEEL ENGINEERING INC.**  
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
SURVEYING : 893 - 4084, FAX: 893 - 0080

**OAKLAND COURT PHASE II SITE PLAN**  
20th CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

**MCCARTY HOLSAPLE MCCARTY**  
**MHM**  
ARCHITECTS & INTERIOR DESIGNERS

19035

530 W. MAIN STREET, SUITE 300  
KNOXVILLE, TENNESSEE 37902

CONTACT: Margaret Butler  
EMAIL: mbutler@mhmcc.com  
TELEPHONE: (865) 544-2000  
FACSIMILE: (865) 544-0402  
INTERNET: mhmcc.com

PROJECT INFORMATION  
CONTRACT: 88C-00000000000000

**OAKLAND COURT REDEVELOPMENT**  
415 N. MAPLE ST.  
MURFREESBORO, TENNESSEE 37130

ACTIVE DESIGN PHASE  
SCHEMATIC DESIGN  
DESIGN DEVELOPMENT  
RED-CHECK  
CONSTRUCTION DOCUMENTS  
CONSTRUCTION BIDDING PHASE  
CONSTRUCTION ADMINISTRATION

CONSULTANT INFORMATION

KEY PLAN

REVISION INFORMATION

DRAWING INFORMATION  
SCALE: N.T.S.  
SCALE GUIDE:  
DWG ISSUED: 13 NOV 2020  
PRJ MGR: Margaret Butler  
PA / PC: Jake Thomas  
DRAWN BY: Aulmor  
CHECKED BY: Project Checked By  
DRAWING TITLE:

DRAWING NO.: SH. SP16 OF SP16